

MEETING

POLICY AND RESOURCES COMMITTEE

DATE AND TIME

TUESDAY 17TH MAY, 2016

AT 7.00 PM

VENUE

HENDON TOWN HALL, THE BURROUGHS, LONDON NW4 4BQ

TO: MEMBERS OF POLICY AND RESOURCES COMMITTEE (Quorum 3)

Chairman: Councillor Richard Cornelius
Vice Chairman: Councillor Daniel Thomas BA (Hons)

Dean Cohen
Tom Davey
Paul Edwards
Anthony Finn

Ross Houston
Barry Rawlings
Alan Or-bach
Alison Moore

Sachin Rajput
David Longstaff

Substitute Members

Melvin Cohen
Alan Schneiderman

Geof Cooke
Mark Shooter

Arjun Mittra
Reuben Thompstone

In line with the Constitution's Public Participation and Engagement Rules, requests to submit public questions or comments must be submitted by 10AM on the third working day before the date of the committee meeting. Therefore, the deadline for this meeting is Thursday 12 May at 10AM. Requests must be submitted to Kirstin Lambert; 02083592177 kirstin.lambert@barnet.gov.uk

You are requested to attend the above meeting for which an agenda is attached.

Andrew Charlwood – Head of Governance

Governance Service contact: Kirstin Lambert; 02083592177 kirstin.lambert@barnet.gov.uk

Media Relations contact: Sue Cocker 020 8359 7039

ASSURANCE GROUP

ORDER OF BUSINESS

Item No	Title of Report	Pages
1.	Minutes of last meeting	1 - 6
2.	Absence of Members	
3.	Declaration of Members' Disclosable Pecuniary interests and Non Pecuniary interests (If any)	
4.	Report of the Monitoring Officer (if any)	
5.	Public Questions and Comments (if any)	
6.	Members' Items (if any)	
a)	Member's Item - Cllr Ross Houston	7 - 10
b)	Member's Item - Cllr Alon Or-bach	11 - 14
c)	Member's Item - Cllr Barry Rawlings	15 - 18
7.	Brent Cross funding strategy	To Follow
8.	Barnet's Local Plan -Draft Grahame Park Estate Development Supplementary Planning Document (SPD)	19 - 154
9.	Corporate Grants Programme - Approval of Grants under Delegated Powers	155 - 160
10.	Any other item(s) the Chairman decides are urgent	
11.	Motion to Exclude the Press and Public	
12.	Any other exempt item(s) the Chairman decides are urgent	

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Decisions of the Policy and Resources Committee

22 March 2016

Members Present:-

AGENDA ITEM 1

Councillor Richard Cornelius (Chairman)
Councillor Daniel Thomas (Vice-Chairman)

Councillor Dean Cohen
Councillor Paul Edwards
Councillor Anthony Finn
Councillor Ross Houston
Councillor David Longstaff
Councillor Alison Moore
Councillor Alon Or-Bach
Councillor Sachin Rajput
Councillor Barry Rawlings

Apologies for Absence

Councillor Tom Davey

1. MINUTES OF LAST MEETING

RESOLVED- That the minutes of the meeting held on 16 February 2016 be approved as a correct record, subject to two corrections on item 3: The first declaration of interest should change to non-pecuniary and the second declaration of interest should be removed.

2. ABSENCE OF MEMBERS

Councillor Davey could not attend the meeting.

3. DECLARATION OF MEMBERS' DISCLOSABLE PECUNIARY INTERESTS AND NON PECUNIARY INTERESTS (IF ANY)

Councillor	Agenda Item	Interest Declared
Councillor Alison Moore	Item 7	Non-pecuniary interest as a Board Member of a local charity
Councillor David Longstaff	Item 7	Non-pecuniary interest as a Board Member of a local charity
Councillor Ross Houston	Item 9	Non-pecuniary interest as he is a Council appointed representative on the Board of The Barnet Group.
Councillor Ross Houston	Item 14	Non-pecuniary interest as he is a Council appointed representative on the Board of The Barnet Group.

4. REPORT OF THE MONITORING OFFICER (IF ANY)

There were none.

5. PUBLIC QUESTIONS AND COMMENTS (IF ANY)

There were none.

6. MEMBERS' ITEMS (IF ANY)

There were none.

7. BUSINESS RATES - DISCRETIONARY RATE RELIEF POLICY

The Committee considered the report.

The Committee,

RESOLVED- to note the consultation responses and approve the Discretionary Rate Relief Policy.

8. ACCESSING FRAMEWORKS FOR PROFESSIONAL CONSTRUCTION AND ENGINEERING SERVICES

The Committee considered the report.

The Committee,

RESOLVED-

1. To authorise the procurement of professional construction & engineering services for schemes through existing OJEU compliant frameworks.
2. To delegate authority to the Chief Operating Officer to appoint suppliers through these frameworks, in consultation with the Chairman of the Policy & Resources Committee and subject to documentation through Full Officer DPRs.

9. STREET SCENE DELIVERY UNIT MANAGEMENT CHANGES

The Committee considered the report.

Councillor Edwards moved a motion that was duly seconded, to add an additional recommendation that the interim arrangement with Barnet Group be extended for up to 9 months.

The Committee unanimously agreed the motion and it was therefore carried.

The Committee

RESOLVED-

1. To note the content in the report
2. To extend the interim arrangement with the Barnet Group be for up to 9 months.

10. NATIONAL INSTITUTE FOR MEDICAL RESEARCH (NIMR) - PLANNING BRIEF

The Committee considered the report.

The Committee;

RESOLVED-

1. To note the responses to the consultation, and agree the Council responses in the Consultation Report attached at Appendix A.
2. To adopt the National Institute of Medical Research Planning Brief attached at Appendix B.

11. BRAKE SHEAR HOUSE - PLANNING BRIEF

The Committee considered the report.

Councillor Longstaff moved a motion that was duly seconded to amend paragraph 7.2 of the Brake Shear House planning brief by replacing “and rates will need to be comparative to other commercial uses within the Chipping Barnet Town Centre” with ‘The Council is keen to promote the provision of affordable workspace on the site, if this isn’t possible, rates will need to be comparable with other similar uses within Chipping Barnet town centre.

Recommendation 2 will read “to adopt the Brake Shear House Planning Brief attached at Appendix 1 as amended”.

The Committee unanimously agreed the motion and it was therefore carried.

The Committee

RESOLVED-

1. To note the responses in the Consultation Report attached at Appendix 3
2. To adopt the Brake Shear House Planning Brief attached at Appendix 1 as amended.

12. NORTH LONDON BUSINESS PARK - PLANNING BRIEF

The Committee considered the report.

Councillor Rutter attended to address the Committee.

Councillor Rawlings moved a motion that was duly seconded to amend the planning brief so as to make skilled employment a higher priority in the planning brief.

The Committee unanimously agreed the motion and it was therefore carried.

The Committee,

RESOLVED -

1. To note the public responses to the consultation carried out on the North London Business Park Planning Brief, and agree the Council responses in the Consultation Report attached at Appendix A.
2. To adopt the North London Business Park Planning Brief attached at Appendix B as amended.

13. PLANNING ADDITIONAL SERVICES

The Committee considered the report. The Chairman invited Members to indicate whether they had any questions regarding the information contained in the exempt report, which would require the Committee to go into private session. These were addressed during the exempt session.

Having been put to the vote the Committee voted:

For: 6
Against: 5
Abstain: 0

The Committee;

RESOLVED – to approve the additional planning services and associated charges (detailed in Appendix 1).

14. THE BARNET GROUP (TBG) BUSINESS PLAN

Having declared an interest Councillor Houston left the room and did not take part in the discussion or the vote.

The Committee considered the report. The Chairman invited Members to indicate whether they had any questions regarding the information contained in the exempt report, which would require the Committee to go into private session. There were none

The Committee;

RESOLVED-To approve the business plan attached as Appendix A and note the draft delivery plan attached as Appendix B.

15. COMMITTEE FORWARD WORK PROGRAMME

The Committee noted the work programme.

16. ANY OTHER ITEM(S) THE CHAIRMAN DECIDES ARE URGENT

There were none.

17. MOTION TO EXCLUDE THE PRESS AND PUBLIC

The Committee,

RESOLVED - that the press and public, in accordance with Section 100A(4) of the Local Government Act 1972, be excluded from the meeting.

18. EXEMPT-PLANNING ADDITIONAL SERVICES

The Committee;

RESOLVED - that the information contained in the exempt report be noted.

19. EXEMPT-THE BARNET GROUP (TBG) BUSINESS PLAN

The Committee;

RESOLVED - that the information contained in the exempt report be noted.

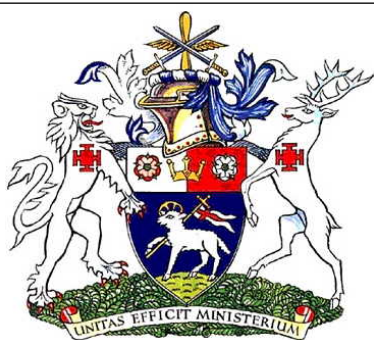
20. ANY OTHER EXEMPT ITEM(S) THE CHAIRMAN DECIDES ARE URGENT

There were none.

The meeting finished at 20:10

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AGENDA ITEM 6a



Policy and Resources committee

17th May 2016

Title	Member’s Item – Cllr Ross Houston Affordable housing targets
Report of	Head of Governance
Wards	All
Status	Public
Enclosures	None
Officer Contact Details	Faith Mwende faith.mwende@barnet.gov.uk 02083594917

Summary

The report informs the Policy and Resources Committee of a Member’s Item and requests instructions from the Committee.

Recommendations

1. That the Policy and Resources Committee’s instructions in relation to this Member’s item are requested.

1. WHY THIS REPORT IS NEEDED

- 1.1 Councillor Ross Houston has requested that a Member's Item be considered on the following matter:

'The current London Plan targets for housing delivery are not being met by LB Barnet according to the most recent GLA monitoring report.

The GLA's Annual Monitoring Report 12 (2014/15) shows that Barnet has only delivered 1096 new affordable homes over the last three years which is 28 per cent of the total number of homes, against a target of 40 per cent.

The report also shows that Barnet has failed against the target on total supply of new homes in 2014/15 (both affordable and market), delivering only 1,207 (55 per cent) compared with the London Plan requirement to deliver 2,175.

Successive GLA monitoring reports show that Barnet has not met its targets for new homes since 2006-07 and has failed on its target for affordable housing for more than ten years.

Barnet also compares badly with neighbouring Labour boroughs, with Camden and Brent each achieving higher numbers of new homes than Barnet despite the fact that their combined area is smaller than Barnet.

Net new homes, percentage of London Plan target 2014/15:

	Net new homes	% of London Plan target
Barnet	1,207	55%
Brent	1,488	148%
Camden	1,541	232%
Enfield	395	74%
Haringey	625	79%
Harrow	402	114%

Affordable housing as percentage of all new homes 2012 – 2015:

	2012/13	2013/14	2014/15	3 year average
Barnet	29%	26%	28%	28%
Brent	34%	35%	45%	40%
Camden	52%	40%	13%	36%
Enfield	44%	32%	21%	34%
Haringey	58%	33%	63%	53%
Harrow	44%	11%	23%	31%

I request that the committee consider these figures and ask for a report back reviewing how the council's policy that 40% of new development is affordable is being implemented and delivered, and whether the council needs to do something different to enforce the policy and meet the targets.'

2. REASONS FOR RECOMMENDATIONS

- 2.1 No recommendations have been made. The Committee are therefore requested to give consideration and provide instruction.

3. ALTERNATIVE OPTIONS CONSIDERED AND NOT RECOMMENDED

- 3.1 Not applicable.

4. POST DECISION IMPLEMENTATION

- 4.1 Post decision implementation will depend on the decision taken by the Committee.

5. IMPLICATIONS OF DECISION

5.1 Corporate Priorities and Performance

- 5.1.1 As and when issues raised through a Member's Item are progressed, they will need to be evaluated against the Corporate Plan and other relevant policies.

5.2 Resources (Finance & Value for Money, Procurement, Staffing, IT, Property, Sustainability)

- 5.2.1 None in the context of this report.

5.3 Legal and Constitutional References

- 5.3.1 The Council's Constitution (Meeting Procedure Rules, Section 6) states that a Member, including appointed substitute Members of a Committee may have one item only on an agenda that he/she serves. Members' items must be within the term of reference of the decision making body which will consider the item.

5.4 Risk Management

- 5.4.1 None in the context of this report.

5.5 Equalities and Diversity

- 5.5.1 Members' Items allow Members of a Committee to bring a wide range of issues to the attention of a Committee in accordance with the Council's Constitution. All of these issues must be considered for their equalities and diversity implications.

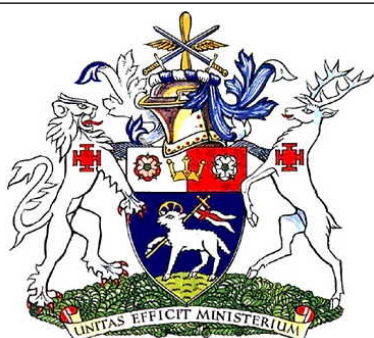
5.6 Consultation and Engagement

5.6.1 None in the context of this report.

6. BACKGROUND PAPERS

6.1 None.

AGENDA ITEM 6b



Policy and Resources committee

17th May 2016

Title	Member’s Item – Cllr Alon Or-bach - IT Strategy
Report of	Head of Governance
Wards	All
Status	Public
Enclosures	None
Officer Contact Details	Faith Mwende faith.mwende@barnet.gov.uk 02083594917

Summary

The report informs the Policy and Resources Committee of a Member’s Item and requests instructions from the Committee.

Recommendations

1. That the Policy and Resources Committee’s instructions in relation to this Member’s item are requested.

1. WHY THIS REPORT IS NEEDED

- 1.1 Councillor Alon Or-bach has requested that a Member's Item be considered on the following matter:

'Given the number of problems in IT that there have been, including the limited assurance rating on IT Disaster Recovery, failure to meet KPIs, Library server crash, and ongoing issues in IT support for members, I request that officers bring a report back to P&R on what the council's IT strategy actually is, and how it will help support the council meet its corporate objectives across services - particularly in relation to the proposed new Customer Access Strategy.'

2. REASONS FOR RECOMMENDATIONS

- 2.1 No recommendations have been made. The Committee are therefore requested to give consideration and provide instruction.

3. ALTERNATIVE OPTIONS CONSIDERED AND NOT RECOMMENDED

- 3.1 Not applicable.

4. POST DECISION IMPLEMENTATION

- 4.1 Post decision implementation will depend on the decision taken by the Committee.

5. IMPLICATIONS OF DECISION

5.1 Corporate Priorities and Performance

- 5.1.1 As and when issues raised through a Member's Item are progressed, they will need to be evaluated against the Corporate Plan and other relevant policies.

5.2 Resources (Finance & Value for Money, Procurement, Staffing, IT, Property, Sustainability)

- 5.2.1 None in the context of this report.

5.3 Legal and Constitutional References

- 5.3.1 The Council's Constitution (Meeting Procedure Rules, Section 6) states that a Member, including appointed substitute Members of a Committee may have one item only on an agenda that he/she serves. Members' items must be within the term of reference of the decision making body which will consider the item.

5.4 Risk Management

5.4.1 None in the context of this report.

5.5 Equalities and Diversity

5.5.1 Members' Items allow Members of a Committee to bring a wide range of issues to the attention of a Committee in accordance with the Council's Constitution. All of these issues must be considered for their equalities and diversity implications.

5.6 Consultation and Engagement

5.6.1 None in the context of this report.

6. BACKGROUND PAPERS

6.1 None.

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	<p>Policy and Resources committee</p> <p>17th May 2016</p>
<p style="text-align: right;">Title</p>	<p>Member’s Item – Cllr Barry Rawlings - Disabled persons' Freedom Passes</p>
<p style="text-align: right;">Report of</p>	<p>Head of Governance</p>
<p style="text-align: right;">Wards</p>	<p>All</p>
<p style="text-align: right;">Status</p>	<p>Public</p>
<p style="text-align: right;">Enclosures</p>	<p>None</p>
<p style="text-align: right;">Officer Contact Details</p>	<p>Faith Mwende faith.mwende@barnet.gov.uk 02083594917</p>

<p>Summary</p> <p>The report informs the Policy and Resources Committee of a Member’s Item and requests instructions from the Committee.</p>

<p>Recommendations</p> <ol style="list-style-type: none"> 1. That the Policy and Resources Committee’s instructions in relation to this Member’s item are requested.
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1. WHY THIS REPORT IS NEEDED

1.1 Councillor Barry Rawlings has requested that a Member's Item be considered on the following matter:

'Following a number of residents' enquiries about the cancellation of disabled persons' Freedom Passes by the Assisted Travel service managed by Capita-run CSG, I request that P&R be provided with a written briefing on the issue including answers to the following:

- when was the decision to cancel or withdraw Freedom Passes from disabled people made and by who - were administration members made aware of this decision?*
- on what basis and why was the decision made (budgetary/policy)?*
- why were passes cancelled without notice, and have the council now apologised to the individuals affected for this error?*
- what legal implications are there arising from the cancellation of passes, including those cancelled without notice - TfL often conduct checks on passes on public transport, has the council exposed vulnerable people whose passes were cancelled mid-journey to the risk of criminal conviction or arrest?*
- which disabilities are no longer included in the eligibility criteria?*
- are these disabilities part of the London Councils set eligibility criteria?*
- if so has London Councils been informed of Barnet's decision?*
- please confirm what the eligibility criteria is for both London Councils and Barnet Council?*
- why do renewal letters state that renewal will be automatic where there has been no change in the recipients condition, yet many pass holders have had their pass withdrawn following a reassessment despite no change in their condition?*
- is the decision to cancel / withdraw the passes lawful?*
- how much money does this new policy save Barnet council?*
- have Capita benefited financially from this in any way?*
- how many people are affected?*
- how many people had their passes cancelled without any notice?*
- how many people had their passes withdrawn following a reassessment?*
- pass holders are being told they are only eligible if they are known to Adults Social Care - doesn't making this a requirement undermine the council's stated policy of encouraging people to be as independent as possible?*
- how will the council compensate pass holders including those whose employment or training opportunities were dependent on being able to use a Freedom Pass?*
- please confirm that no further passes will be cancelled /withdrawn and that all cancelled /withdrawn passes will be reinstated with immediate effect.*

I also request that the relevant Commissioning Director bring a full report back to the next committee on the outcome of the council's investigation into this issue and the review that is taking place on eligibility criteria, so that members can discuss the issue and make any future decisions.

2. REASONS FOR RECOMMENDATIONS

- 2.1 No recommendations have been made. The Committee are therefore requested to give consideration and provide instruction.

3. ALTERNATIVE OPTIONS CONSIDERED AND NOT RECOMMENDED

- 3.1 Not applicable.

4. POST DECISION IMPLEMENTATION

- 4.1 Post decision implementation will depend on the decision taken by the Committee.

5. IMPLICATIONS OF DECISION

5.1 Corporate Priorities and Performance

- 5.1.1 As and when issues raised through a Member's Item are progressed, they will need to be evaluated against the Corporate Plan and other relevant policies.

5.2 Resources (Finance & Value for Money, Procurement, Staffing, IT, Property, Sustainability)

- 5.2.1 None in the context of this report.

5.3 Legal and Constitutional References

- 5.3.1 The Council's Constitution (Meeting Procedure Rules, Section 6) states that a Member, including appointed substitute Members of a Committee may have one item only on an agenda that he/she serves. Members' items must be within the term of reference of the decision making body which will consider the item.

5.4 Risk Management

- 5.4.1 None in the context of this report.

5.5 Equalities and Diversity

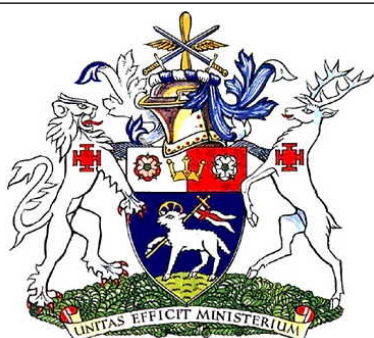
- 5.5.1 Members' Items allow Members of a Committee to bring a wide range of issues to the attention of a Committee in accordance with the Council's Constitution. All of these issues must be considered for their equalities and diversity implications.

5.6 Consultation and Engagement

- 5.6.1 None in the context of this report.

6. BACKGROUND PAPERS

6.1 None.



Policy and Resources Committee

17 May 2016

Title	Barnet’s Local Plan – Draft Grahame Park Estate Development Supplementary Planning Document (SPD)
Report of	Commissioning Director Growth and Development
Wards	Colindale and Burnt Oak
Status	Public
Urgent	No
Key	Yes
Enclosures	Appendix A: Consultation Report Appendix B: Grahame Park SPD
Officer Contact Details	Michael Osman, michael.osman@barnet.gov.uk ; 0208 359 3955

Summary

The Council, in partnership with Genesis Housing Association, has taken the decision to undertake a comprehensive review of the remainder of the Grahame Park Estate Masterplan, known as Stage B. The most appropriate way forward is to produce a Supplementary Planning Document (SPD), which will provide a framework for the consideration of detailed planning applications for a series of phases over a 10-15 year period. This was agreed at the Asset Regeneration and Growth Committee (ARG) on the 8th September 2014.

On the 13 January 2015, this Committee approved a consultation strategy which involved two consultation exercises. The first was an options consultation which was carried out in February 2015, and the second was the statutory consultation on the draft SPD which is the subject of this report.

On 16 December 2015, following consideration of the outcome of the consultations carried out in February 2015, and the draft SPD that was subsequently prepared, the Committee approved:

- the publication of the draft SPD for statutory consultation;
- the publication of supporting documents;
- the carrying out of a six week statutory consultation in 2016.

The purpose of this report is to provide a summary of the comments made during the statutory consultation period, which have been taken into consideration in the drafting of the final SPD, which is attached to this report with the recommendation that the Grahame Park SPD be approved for adoption.

Recommendations

That the Committee:

- 1. Note the public responses to the consultation carried out on the Grahame Park SPD and agree the Council responses in the consultation report attached at Appendix A;**
- 2. Adopt the Graham Park SPD attached at Appendix B**

1. WHY THIS REPORT IS NEEDED

- 1.1. The Grahame Park Estate was built by the Greater London Council in the 1960s and 70s, originally comprising 1,777 homes. It is located in Colindale, and is based on the Radburn principles of separating vehicles and pedestrians. In Grahame Park this has led to unsafe and difficult circulation routes. These factors, coupled with poor accommodation, overcrowding and poorly integrated local facilities have resulted in the estate becoming isolated from the rest of Colindale. In 2003 residents voted in favour of a full regeneration of the estate and in 2004 a new Masterplan was submitted, with outline consent approved in 2007.
- 1.2. The Masterplan is now 10 years old and out of date, with only a limited proportion of the envisaged regeneration having been implemented. The Council, in consultation with Genesis Housing Association (GHA) took the decision to undertake a comprehensive review of the remainder of the Masterplan (known as Stage B), to add drive to the project. This is important, given the significant amount of private development in the area, which threatens to leave Grahame Park further isolated. Furthermore, a loan of £56 million has recently been awarded to GHA by central government, which will help to kick-start Stage B of the project. The review recommended the implementation of the Supplementary Planning Document (SPD)
- 1.3. This SPD sits below Barnet's Local Plan Core Strategy and Development Plan Documents, as well as the Colindale Area Action Plan (CAAP). The SPD will provide site specific guidance and advice on the application of planning policy in relation to the Grahame Park Estate and will be a material consideration in the planning process for all applications affecting the Estate. SPDs are statutory planning documents produced by the Council which are subject to public consultation.
- 1.4. The SPD will provide a framework for the consideration of detailed planning applications for a series of phases over a 10-15 year period, in order to drive

forward the regeneration programme for Grahame Park and deliver necessary associated infrastructure and community facilities.

- 1.5. There is an urgent need to adopt the SPD, as private development in Colindale is coming forward at an ever increasing pace and it is crucial that the regeneration of Grahame Park is not left behind. It is also critical that the first phase of stage B (The Concourse, (the central part of the estate containing shops and services)) is dealt with quickly, as this blights the rest of the estate and its speedy redevelopment is contingent on government funding with associated time constraints. GHA intend to submit a planning application for the Concourse phase at the end of 2016, so it is important that the SPD is adopted so that it can provide guidance for the preparation of that application and will be a material consideration in the determination of that application.
- 1.6. In addition, it is important to review the outcome of the public consultation carried out during February and March 2016, to ensure it is reflected appropriately in the adopted SPD.

2. REASONS FOR RECOMMENDATIONS

- 2.1. Grahame Park is a large strategically important site located in an established suburban area with reasonable transport links locally and to Central London. The SPD will ensure that future development of Grahame Park comes forward in line with Council priorities and delivers sustainable development.
- 2.2. The SPD offers a strategic vision for the future of Grahame Park reflecting the local community's views on the issues that have been dealt with during the consultation process and the priorities that have been identified. As a result the SPD will provide guidance for the preparation of future planning applications that will reflect the views of the local community.
- 2.3. An earlier version of the SPD which was made available for the purposes of consultation, proposed a community centre of 500 m² located in the central hub as part of a range of facilities, including the redevelopment of the St Augustine's Church site. The objections that were received related to the fact that the original section 106 planning obligation agreement signed in 2007 when outline planning permission was granted for the redevelopment of Grahame Park, provided for a community centre of 1100 m². The detailed planning consent for the original community centre on plot 8 was for 960m². However detailed design and viability work now underway envisages the community centre being developed separately and in addition to a new church hall, on the adjacent St Augustine's site of similar size which would be inclusive and multi-faith. Together these two sites have the potential to provide a combined total of up to 1000 m² of community floorspace in addition to the other uses forming the community hub provided for in the SPD.
- 2.4. It should be noted that the provision of the replacement community centre was required by clause 10 of the Section 106 agreement entered into that time. This provision will of course be replaced when a new planning application is submitted pursuant to the SPD, and during the determination of this

application, final agreement will be reached as to the appropriate size of the community centre. A new obligation under the new planning permission will need to be entered into for the provision of a community centre.

3. ALTERNATIVE OPTIONS CONSIDERED AND NOT RECOMMENDED

- 3.1. On the 8 September 2014, the Assets Regeneration and Growth approved, among other things, the following: “The Committee agrees to preparation of a supplementary planning document to guide the development of Stage B of the Grahame Park Regeneration Programme, to be progressed in accordance with the Council’s established process for the development and approval of new planning policy documents.”
- 3.2. The preparation of the SPD has therefore been undertaken in accordance with that resolution.
- 3.3. Furthermore, on the 13 January 2015, this Committee approved a consultation strategy which involved two consultation exercises. The first was an options consultation which was carried out in February 2015, and the second was the statutory consultation on the draft SPD which was carried out in February and March 2016.
- 3.4. It is not considered that there are any viable alternative options to be considered.

4. POST DECISION IMPLEMENTATION

- 4.1. Following this decision, the adopted SPD will be published via a public notice.

5. IMPLICATIONS OF DECISION

5.1. Corporate Priorities and Performance

- 5.1.1. The regeneration scheme complies with strategic objectives in the Council’s Housing Strategy 2010-2025, which include:

- Increasing housing supply, including family sized homes, to improve the range of housing choices and opportunities available to residents; and
- Promoting mixed communities and maximising opportunities available for those wishing to own their home.

- 5.1.2. The SPD will help to achieve the objectives and priorities of the Health and Wellbeing Strategy, by delivering new healthcare facilities and enabling people to be healthier and have greater life opportunities.

5.2. Resources (Finance & Value for Money, Procurement, Staffing, IT, Property, Sustainability)

- 5.2.1. GHA and the Council have entered into a Planning Performance Agreement (PPA) to fund the preparation and adoption of the SPD. The fee agreed with GHA included costs connected with the public consultation work that was carried out during the preparation of the SPD, and all associated costs. The PPA was cleared by the Council's Finance Department. The SPD work has been carried out by the Council's Strategic Planning Department, with minimal impact on other departments, or any IT implications.
- 5.2.2. The resourcing provided by GHA has enabled officer time to be dedicated to the project. The SPD work has been carried out by existing Re staff, and specifically appointed staff. There has been only limited impact on the main functions carried out by the relevant teams involved in this project, as other staff have backfilled these roles whilst the SPD is produced.
- 5.2.3. Barnet has no commitment to meet any of the development costs as they are to be met by GHA. Replacement community provision will be funded through planning obligation agreements.

5.3. Social Value

- 5.3.1. The SPD will ensure that the Regeneration Scheme will be delivered to a high standard. It will deliver the Council's priorities for the provision of new and replacement community facilities as well as housing infrastructure and parks for residents. The SPD will contribute towards the positive management of the Councils land and property assets.

5.4. Legal and Constitutional References

- 5.4.1. A SPD provides detailed guidance and advice which supports the policies in a local authority's Development Plan and must therefore be consistent with the policies in the Development Plan.
- 5.4.2. The Planning and Compulsory Purchase Act 2004 and the Town and Country Planning (Local Planning) (England) Regulations 2012 (the Regulations) provide guidance on the preparation and adoption of an SPD. The Council is required under the Regulations to carry out a statutory consultation for a period of at least 4 weeks on an SPD and to take into account any representations received before proceeding to adopt the SPD. In the event, a consultation period of 6 weeks was allowed for.
- 5.4.3. Upon adoption the SPD becomes a statutory document that forms part of Barnet's local plan policy framework.
- 5.4.4. Constitution Responsibilities for Functions Annex A sets out the terms of the Policy and Resources Committee including "to be responsible for the overall strategic direction of the Council including approval of development of statutory Local Plan related documents".

5.5. Risk Management

5.5.1. Failure to put in place a SPD may lead to a less strategic response to the development of the site and result in Council priorities not being achieved.

5.6. Equalities and Diversity

5.6.1. The SPD implements policy set out in the Local Plan Core Strategy which has been subject to an Equalities Impact Assessment (EqIA). Furthermore, the SPD itself is accompanied by an EqIA.

5.6.2. The SPD has been consulted on in accordance with the Council's standard practice and would ensure equal opportunity in the engagement process throughout.

5.7. Consultation and Engagement

5.7.1. SPDs are prepared through powers contained within the Planning and Compulsory Purchase Act 2004 and the associated Town and Country Planning (Local Planning) Regulations 2012. Consultation with the local community has had regard to the Local Plan Statement of Community Involvement adopted on the 28 July 2015.

5.7.2. Other sections of this report and the attached Consultation Report set out the outcome of the consultation and how this has influenced the SPD.

5.8. Insight

5.8.1. Data from the Barnet Observatory on the demographic structure of the Borough and the Wards has informed the draft SPD.

6. BACKGROUND PAPERS

6.1. Assets, Regeneration and Growth Committee, 8th September 2014 –
<http://barnet.moderngov.co.uk/ieDecisionDetails.aspx?AllId=7973>

6.2. Policy and Resources Committee, 13 January 2015–
<http://barnet.moderngov.co.uk/documents/s20241/Initial%20Consultation%20Strategy%20Grahame%20Park%20Estate%20Development%20Framework%20SPD.pdf>

6.3. Policy and Resources Committee, 15 December 2015 –
<http://barnet.moderngov.co.uk/documents/s28165/Grahame%20Park%20Estate%20Development%20Draft%20Supplementary%20Planning%20Document%20SPD.pdf>

CONSULTATION STATEMENT

Grahame Park Supplementary Planning Document

Name of the supplementary planning document

Grahame Park SPD

Purpose of the document

The Grahame Park estate was built by the Greater London Council in the 1960's and 1970's. It is located in Colindale, but a combination of poor design, poor accommodation, overcrowding, and badly integrated local facilities resulted in the estate becoming isolated from the rest of Colindale.

In 2003 residents voted in favour of the full regeneration of the estate and in 2004 an outline planning application for a new Masterplan for the estate was submitted, with outline planning permission being granted in 2007.

However the Masterplan is now 10 years old and out of date with only a small amount of the envisaged regeneration implemented. As a result the purpose of the SPD process has been to enable a review of the Masterplan to take place, with the community being involved in this process, and revised proposals for the area to be adopted.

Consultation strategy

The Council undertook a consultation strategy which involved two distinct phases. The first was an Options consultation which was carried out in February 2015 and the second was the Statutory consultation on the draft SPG which was carried out in February and March 2016.

Options consultation February 2015

The initial consultation was centred on five key themes

- Creating better neighbourhoods
- Improving accessibility
- Enhancing green assets
- Improving community facilities
- Creating quality family friendly housing

Persons, groups, bodies consulted prior to the preparation of the SPD

These activities comprised:

- Approximately 5,800 consultation letters were sent to all properties on the estate (and within a 350m radius) and stakeholders;
- The letter explained the background of the scheme and where we are, it will have a section for comments, explained where to comment online and where to view or obtain copies of the SPD;

- Consultation with statutory external consultees also took place during this period;
- During this time a public notice was posted in local newspapers; and,
- Publication of the consultation document on LBB website

The Supplementary Planning Document was distributed to interested parties, as required, in both CD and hard copy form.

Drop in Sessions

There were three events held on the Concourse enabling residents of the estate and surrounding area to view consultation material and make comments using sticky notes.

The dates of the events were as follows:

- Wednesday, 18 February 2015 (10am to 12.30pm)
- Thursday, 19 February (3.30pm to 7pm)
- Saturday 21 February (10am to 1230pm)

In total over 150 local people attended the three events including local Ward Councillors, and representatives from the Colindale Community Trust, Flightways centre, and the RAF Museum.

Availability of documents

Hard copies for reference could be found at:

- Barnet House Planning Reception, 1255 High Road, Whetstone, N20 (open Mon-Fri 9am-5 pm) N20)EJ; and
- Grahame Park Library, The Concourse, Grahame Park, Colindale London NW9 5XL

Online consultation

Copies of the documents could be viewed online.

In addition, an online portal was set up to allow residents to comment on the consultation material. The material was rationalised for the online interface, but the questions asked remained the same. An online consultation format known as Sticky World was used, and this ran from 18 February to 25 March 2015.

Summary of the main issues raised in those consultations

Having regard to the outcome of the consultation and the stakeholder engagement it was concluded that the main objectives for the content of the draft SPD should be as follows:

- Demolish the concourse early but retain community cohesion;
- Replace or retain community facilities and shops particularly the health centre, chemist, post office, Community Centre, library and churches;
- Create a new Community hub that is easily accessible
- Improve transport links including bus frequency pedestrian and cycle facilities;
- Ensure the new neighbourhood is more integrated with surrounding areas;
- Construct low rise development with not too many flats in each block;
- Create a safe environment with well lit and overlooked streets and spaces that are well maintained;

- Provide adequate parking on streets that prioritise pedestrians and limit traffic speeds;
- Create more usable areas of open space with accessible activities for all age groups;
- retain as many existing trees as possible and plant new ones; and,
- Prioritise family housing and ensure that all rooms are a good size with good outlook, private garden space, and storage

How were those issues addressed in the draft SPD?

These were expressed in a vision for Grahame Park to become:

- a successful, family friendly neighbourhood incorporating the highest standards of design, a good mix of uses and a layout that will meet the needs of current and future generations;
- an inclusive community made up of existing residents and new residents living together in a safe and accessible environment;
- known for high-quality affordable and private homes that address a variety of local needs including those of the elderly and vulnerable;
- an outstanding environment with excellent parks and great streets which are accessible to all; and,
- a place where residents would want to stay due to the strong sense of community and the quality of community facilities, schools, and children's facilities.

This vision was translated into a set of key principles to guide the preparation of a new Masterplan for the regeneration of Grahame Park over the next 15 to 20 years. These included:

- The early removal of the Concourse and its blighting effect as it would be the next phase;
- Creation of traditional network of streets;

- New housing to be in a mix of tenures;
- Housing to be designed to up to date space standards and energy efficiency;
- Housing to be accessible and adaptable;
- Housing areas to contain good quality private and communal garden space;
- Spacing of buildings to achieve high standards of daylight, sunlight and privacy;
- Improved connections with surrounding areas;
- Creation of three distinct character areas;
- A hierarchy of streets to minimise extraneous traffic within residential areas;
- Level of on-street parking to be proportionate to environmental quality;
- Community and retail facilities to be clustered in convenient locations;
- Existing green spaces to be maintained and enhanced;
- Existing trees to be retained wherever possible
- New open spaces to be created;
- Open spaces to contain activities for all age groups; and
- All necessary infrastructure to support the new community will be provided.

Consultation on Draft SPD February to March 2016

Persons, groups, and bodies consulted in connection with the draft SPD

- Approximately 5800 consultation letters were sent to all properties on the estate (and within a 350m radius) and stakeholders;
- The letter explained the purpose of the consultation, how to comment online and where to view or obtain copies of the SPD;

- During this time a public notice was posted in local newspapers;
- The draft SPD was published on the LBB website;
- The SPD was distributed to interested parties, where required, by both CD and hard copy;

Availability of documents

Hard copies for reference were available at:

- Barnet House Planning Reception, 1255 High Road, Whetstone, N20 (open Mon-Fri 9am-5 pm) N20)EJ.
- Grahame Park Library, The Concourse, Grahame Park, Colindale London NW9 5XL

Copies of the documents could be viewed online.

Events

The following consultation events took place on the estate at Genesis Housing Office, 15 The Concourse, London NW9 as follows:

- Wednesday 17 February 2016 (10.00am -12.30pm);
- Thursday 18 February 2016 (3.30pm-7.00pm);
- Saturday 20 February 2016, (10.00am-12.30pm).

In total approximately 60 local people attended the three events including local Ward Councillors and the GLA Assembly Member and representatives from the Colindale Community Trust.

Submission of Comments

Representations could be made as follows:

In writing to: Director of Regeneration and Strategic Planning, London Borough of Barnet, Barnet House, 1255 High Road, Whetstone, N20 0EJ.

By email to: forward.planning@barnet.gov.uk

The closing date for the receipt of comments and feedback was Monday 14 March 2016

A summary of the representations received on the SPD as a result of these consultations, together with the Council's response, is summarised in Table 1.

**TABLE 1
GRAHAME PARK SPD
REPRESENTATIONS RECEIVED DURING STATUTORY CONSULTATION AND RESPONSE
FEBRUARY/MARCH 2016**

No	Doc Ref	Name	Representation	Comment	Action
01	Page 28 Table 3.2 and related text.	Chair Colindale Community Trust.	Objects to lack of provision of 1100 m2 Community Centre.	<p>The consultation version of the SPD proposed a community centre of 500 m² located in the central hub as part of a range of facilities which included redevelopment of the St Augustine's Church site.</p> <p>The objections that were received related to the fact that the original section 106 planning obligation agreement signed in 2007 when outline planning permission was granted for the redevelopment of Grahame Park provided for a community centre</p>	No amendment to SPD is proposed.

				<p>of 1100 m².</p> <p>Plot 10C and St Augustines have the potential to provide up to at least 1000 m² of community floorspace with all the other uses forming the community hub provided for in the SPD.</p> <p>The table in the SPD is based on what would be the minimum acceptable provision for community facilities taking account of the reprovision of existing capacity, and allowing for growth distributed between Plot 10 and St Augustines. In the event of any shortfall, then appropriate uses will be included in Plot 11.</p>	
02(a)	Page 28 Table 3.2 and related	Local resident and Trustee of CCT.	Objects to lack of provision of 1100 m ² Community Centre.	See response to Representation no 1.	See response to Representation no 1.

	text.				
02(b)	Page 28 Paras v-viii	Local resident and Trustee of CCT.	Concerned about increasing density of the proposed new build.	<p>The overall numbers of dwellings proposed do not represent a significant increase over the 2007 Outline planning permission.</p> <p>The Masterplan contained in the SPD demonstrates how the regeneration of Grahame Park can take place whilst achieving a high quality of design, maintaining existing environmental assets, and removing the blight of the Concourse.</p>	No amendment to SPD proposed.
02(c)	Pages 38-39	Local resident and Trustee of CCT.	Concerned about lack of parking in the area.	The SPD provides for a level of on- and off-street parking to be provided in each Plot having regard to the location of the plot within Grahame Park and the associated PTAL. It is expected that the use of parking will be controlled through a	No amendment to SPD proposed.

				CPZ on public roads and appropriate management of the private spaces.	
03	Page 28 Table 3.2 and related text.	Chief Executive, Advocacy in Barnet.	Objects to lack of provision of 1100 m2 Community Centre.	See response to Representation no 1.	See response to Representation no 1.
04	Page 28 Table 3.2 and related text	Youth Worker, Stonegrove Estates Youth Services in Grahame Park.	Objects to lack of provision of 1100 m2 Community Centre.	See response to Representation no 1.	See response to Representation no 1.
05(a)	Page 28 Table 3.2 and related text	Living way Ministries supported by 280 individual letters from local residents.	Community Centre should be available to all members of the community.	This is not disputed. The SPD will require and encourage the provision of Community Centre floorspace. The granting of planning permission will enable the Council to ensure the availability of this space to all members of the Community.	No amendment to SPD proposed.
05(b)	Page 28 Table 3.2 and related text.	Living Way Ministries supported by 280 individual letters from local residents.	Objects to lack of provision of 1100 m2 Community Centre.	See response to Representation no 1.	See response to Representation no 1.

05(c)	Page 28 Table 3.2 and related text.	Living way Ministries supported by 280 individual letters from local residents.	No adequate provision for other community service providers.		
06	Page 28 Table 3.2 and related text.	Chair, -New Hendon Residents Association.	Objects to lack of provision of 1100 m2 Community Centre.	See response to Representation no 1.	See response to Representation no 1.
07(a)	Pages 103- 106 Section 5 Delivery.	Ward Councillors.	Affordable Housing: concerned about need for a local affordable housing, particularly for existing temporary tenants and about the affordability of new accommodation for some leaseholders.	Affordable provision within the SPD area will be determined in accordance with Council Policy.	No amendment to SPD proposed.
07(b)	Page 28 Table 3.2 and related text.	Ward Councillors.	Object to lack of provision of 1100 m2 Community Centre as only small accommodation proposed Would like to see provision on both St Augustine's and plot 10.	See response to Representation no 1.	See response to Representation no 1.
07(c)	Page 36.	Ward Councillors.	Highways and parking: the proposed Controlled Parking Zone (CPZ) is an inadequate response.	The overall approach adopted in SPD is require a residential car parking standard	No amendments to SPD are proposed.

				appropriate for each part of Grahame Park. This will be secured by a blend of off street and on street parking. The CPZ will form a critical part of this strategy as will the management of off street parking spaces.	
07(d)	General.	Ward Councillors.	Concerned about lack of public transport proposals throughout Colindale.	Not a specific representation on the SPD. Improvements to the public transport network will arise from the improvements to Lanacre Avenue which will enable bus services to pass through Grahame Park. Please see section 3.5 pp34-35. This will improve the accessibility of Grahame Park. As individual housing developments within the SPD area are considered there may well be planning obligations to make contributions to specific	No amendments to SPD are proposed.

				public transport improvements.	
07(e)	General.	Ward Councillors.	Emphasis on cycling is not realistic. Colindale is too dangerous to cycle around.	Cycling is promoted within the SPD in accordance with National, Regional and Local Plan policies. In particular the needs of the cyclist have been reflected in all aspects of the Development framework and Design guidelines.	No amendments to SPD proposed.
07(f)	General.	Ward Councillors.	Concern over private parking contractors issuing fines at Sainsbury's.	Not relevant to SPD.	No amendment to SPD proposed.
08	General.	Local Resident.	Concerned about about the traffic and parking in this area and impact on Cranwell Court.	The SPD will require that the Masterplan provides for a hierarchy of roads which will cater for distributor and local traffic. In addition, the SPD provides for a level of on- and off-street parking to be provided in each plot having regard to the location of each plot within Grahame	No amendment to SPD proposed.

				<p>Park and the associated Public Transport Accessibility Level (PTAL). These measures will benefit the surrounding area.</p>	
09(a)	<p>Page 97 Section 4.9 St Augustine's Church Site.</p>	<p>Diocese of London.</p>	<p>Support the development of St Augustine's Church site as a community hub</p>	<p>Following a review, the community hub function is now proposed to be anchored in Plot 10B with the provision of additional community space in Plot 10C being encouraged.</p>	<p>Section 4.9 has been amended to read:</p> <p>The SPD allows for all community uses to be located on Plot 10C, St Augustine's Church site. In this event, the redevelopment of the St Augustine's Church will be a focal point at the heart of the regeneration of Grahame Parke and will provide vital social infrastructure and community facilities to the adjacent neighbourhoods and wider surrounding area.</p>
09(b)	<p>Page 97 Section 4.9</p>	<p>Diocese of London.</p>	<p>Suggest Plot 10 C should be identified as a mixed-</p>	<p>Propose that St Augustine's should be</p>	<p>Page 28, para xi has been changed to read:</p>

	St Augustine's Church Site.		use scheme including community hub.	identified as a mixed use scheme with Church, Church Hall, with some residential.	"xi Residential provision may be acceptable on Plot 10C where this is needed to support the re-provision of good modern community facilities on the site. Such residential provision should be in keeping with the nature of the community facilities and the surrounding residential context."
09(c)	Page 97 Section 4.9 St Augustines Church Site.	Diocese of London.	Church site/Community hub should be given greater prominence through more height.	Height of proposed redevelopment should be justified through planning application process having regard to SPD parameters.	No amendment to SPD proposed.
09(d)	Page 97 Section 4.9 St Augustines Church Site.	Diocese of London.	Would support prominent corner but not necessarily a spire.	Design of proposed redevelopment should be justified through planning application process having regard to SPD parameters.	No amendment to SPD proposed.
09(e)	Page 97 Section 4.9	Diocese of London.	Plot 10 C should incorporate public uses at	Form of proposed redevelopment should	No amendment to SPD proposed.

	St Augustines Church Site.		lower levels and residential development at upper levels.	be justified through planning application process having regard to SPD parameters.	
09(f)	Page 97 Section 4.9 St Augustine's Church Site.	Diocese of London.	To preclude residential development from prominent corners would remove viable and appropriate uses.	Form of proposed redevelopment should be justified through planning application process having regard to SPD parameters.	No amendment to SPD proposed.
09(g)	Page 97 Section 4.9 St Augustine's Church Site.	Diocese of London.	Plot 10 should not be subject to the same height restriction as neighbouring development if it includes the community hub.	Height of proposed redevelopment should be justified through planning application process having regard to SPD parameters.	No amendment to SPD proposed.
10 (a)	Sustainability Assessment.	Historic England.	Welcome inclusion of Map in SA document to illustrate Heritage Assets. Suggest Map is revised to include even more.	Representation Accepted	Amendment to SA will be made.
10 (b)	Sustainability Assessment.	Historic England.	Revise sustainability assessment to confirm linkages between conserving and enhancing heritage assets and creation of outstanding environment. Emphasise	Representation Accepted	Amendment to SA will be made.

			relationship to NPPF and Local Plan, and contributions that can be made from researching aeronautical history.		
11	Page 38 para xi.	Genesis Housing Association.	Revise Prominent Corner policy to include Nodes as well as corners.	This provides for an increase in height within a terrace or frontage to provide for positive built moments away from corners where appropriate-such as at the end of a long view.	Page 38 Para xi will read: “xi Prominent Corners and Nodes are classified as positive built moments located strategically adjacent to fixed open spaces and on long view lines. Their positions are suggested as per Figure 3.7B, but does not preclude other locations.”

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**GRAHAME PARK
SUPPLEMENTARY PLANNING DOCUMENT**

MAY 2016

LONDON BOROUGH OF BARNET

PLANNING AND COMPULSORY PURCHASE ACT 2004 TOWN AND COUNTRY PLANNING (LOCAL PLANNING) (ENGLAND) REGULATIONS 2012

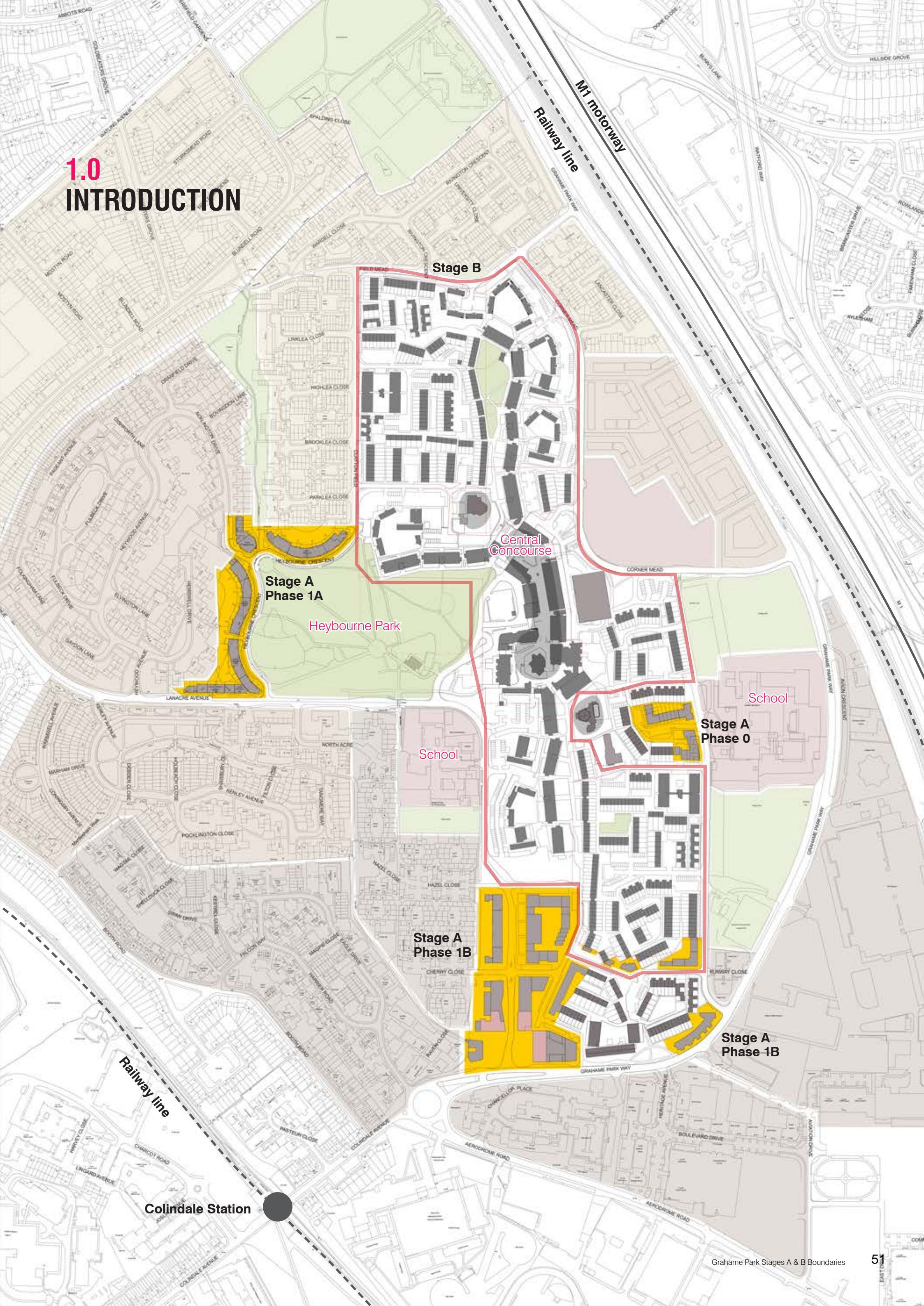
GRAHAME PARK SUPPLEMENTARY PLANNING DOCUMENT

Director of Regeneration and Strategic Planning, London Borough of Barnet,
Barnet House, 1255 High Road, Whetstone, N20 0EJ.

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1.0 INTRODUCTION



Stage B

Central Concourse

Stage A Phase 1A

Heybourne Park

School

Stage A Phase 0

School

Stage A Phase 1B

Stage A Phase 1B

Colindale Station

1.0

INTRODUCTION

This document is a Supplementary Planning Document (hereafter referred to as SPD), providing supplementary detail to policies contained within the London Borough of Barnet's (hereafter referred to as 'LBB' or the Council) Core Strategy (2012), Development Management Policies (2012) and Colindale Area Action Plan (2010). It also provides supplementary detail to the Mayor of London's London Plan (2015) in the form of Supplementary Planning Guidance (hereafter referred to as SPG).

This SPD should be read in conjunction with the Mayor's London Plan, LBB's adopted policies and other relevant Development Plan Documents and SPDs.

Formal Status of this Document

This SPD is a material consideration for the determination of any planning applications submitted within the Grahame Park Estate.

i. This SPD has been prepared in accordance with the National Planning Policy Framework, the Town and Country Planning (Local Development) (England) Regulations 2004 (as amended), the Town and Country Planning (Local Planning) (England) Regulations 2012, the Planning and Compulsory Purchase Act 2004 (as amended), and the Greater London Authority Acts 1999 and 2007.

ii. This document is supported by:

- a Sustainability Appraisal;
- an Equality Impact Assessment; and,
- the Initial Consultation Report.

Purpose of this document

iii. This document has been produced by Re (Regional Enterprise) Ltd on behalf of LBB. The overall objectives of this SPD are to:

- establish and provide guidance for Master planning within the site;
- establish detailed guidance on the application of policies within the London Plan and LBB's Development Plan Documents (DPDs) that will be used to assess any planning applications submitted in respect of land within the site;
- explain how the development will deliver the required infrastructure and socioeconomic benefits to support the new neighbourhood in this part of Colindale;
- engage all interested stakeholders in the development process.

iv. Grahame Park is identified in the London Plan (policy 2.14) as an 'Area for Regeneration'. Colindale/Burnt Oak is also identified as an Opportunity Area in the London Plan, with Annex 1 describing the area as "an area comprising a range of sites with capacity mainly for residential led mixed use".

v. Barnet Council own the majority of the site and have a development agreement with Genesis Housing Association (hereafter referred to as 'GHA') for the regeneration of the estate. LBB are actively collaborating with other landowners on the site to include their land within the wider redevelopment

proposals, such as the Anglican Church, who own the freehold for St Augustine's Church.

vi. Most of the first portion of the regeneration (Stage A) has either been constructed on site, has commenced or has been committed to by GHA, pursuant to the original outline consent granted in 2007 (hereafter referred to as 'the 2007 permission'). The main purpose of this document will therefore be to provide detailed guidance for Stage B of the development, but given the comprehensive nature of the scheme, this SPD will be a material consideration for all applications submitted in respect of land within the site. However, the Development Framework contained in Section 3 will only apply to Stage B of the development.

vii. It is recognised that flexibility will be needed to achieve the Council's strategic vision of the regeneration of Grahame Park Estate, as reflected in section 2 of this document. This SPD is not intended to preclude or constrain other acceptable development and/or strategies for achieving sustainable comprehensive regeneration in accordance with relevant London Plan and Core Strategy/Development Management Policies. The SPD has been drafted with this in mind, such that it can be applied to any application coming forward on the site and can be given appropriate weight in the decision making process, should national, regional or local policy change over the course of the development.

Policy content and Relationship to the Colindale Area Action Plan

viii. The site falls within the Colindale/Burnt Oak Opportunity Area, as identified in the London Plan. In addition, LBB's Core Strategy contains policies which relate to development in the Opportunity Area, as well as Grahame Park Estate more specifically. These policies require a minimum of 12,500 new homes and 2,000 jobs across all the sites in the area, as well as co-ordination of adequate provision of social and transport infrastructure.

ix. In 2010, LBB adopted the Colindale Area Action Plan (CAAP), which sets out the framework for development and change in the Colindale area. This SPD will sit below the CAAP and the guidance herein will provide supplementary detail to the policies contained in the CAAP. As well as the theme based policies in the CAAP that apply to any development in the opportunity area, there are specific policies that support the ongoing regeneration of Grahame Park Estate and set out specific objectives for the site. This SPD will support these objectives and will provide specific guidance for how these will be achieved.

x. In addition to these policies that are specific to the site and Opportunity Area, there are also theme based national, regional and local planning policies that apply to any development of the site. The Mayor of London and LBB have other theme based Supplementary Planning Guidance/Documents, which also apply to the redevelopment of the site.

1.1 STRUCTURE

Other than the Introduction (1.0), this SPD comprises the following sections:

Section 2: Background and Objectives

i. This provides background information about the site, the surrounding area and the ongoing regeneration programme. This section culminates in LBB's vision for the future of Grahame Park, which is the rationale for the guidance set out in the Development Framework.

Section 3: Development Framework

ii. A set of parameter plans that establish the key principles that new development should adhere to, including where land uses will be situated, where streets and development plots will be located, the scale of buildings and the size and location of open spaces. This section will culminate in an illustrative Masterplan showing how development could come forward in accordance with the parameter plans.

Section 4: Design Guidelines

iii. A set of guidelines that set out LBB's expectations for the detailed aspects of the development, including the types of housing, privacy and outlook standards, amenity space provision and the quality of architecture and public realm.

Section 5: Delivery

iv. An explanation of how the Council expects the development to come forward and what will be required when planning applications are considered. This will include provisions for phasing, community engagement, affordable housing and planning obligations, as well as any technical work that will need to be carried out.

v. Each part of the Development Framework has regard to the existing policy context, background information, character and appearance of the site and surrounding area and the results of consultation. Redevelopment of the site will be expected to meet the relevant objectives of all three sub-sections of the Development Framework.

1.2 SUPPORTING DOCUMENTATION

A number of supporting documents have been produced in order to inform this SPD and these can be found on LBB's website. A summary of each document is provided below:

Sustainability Appraisal

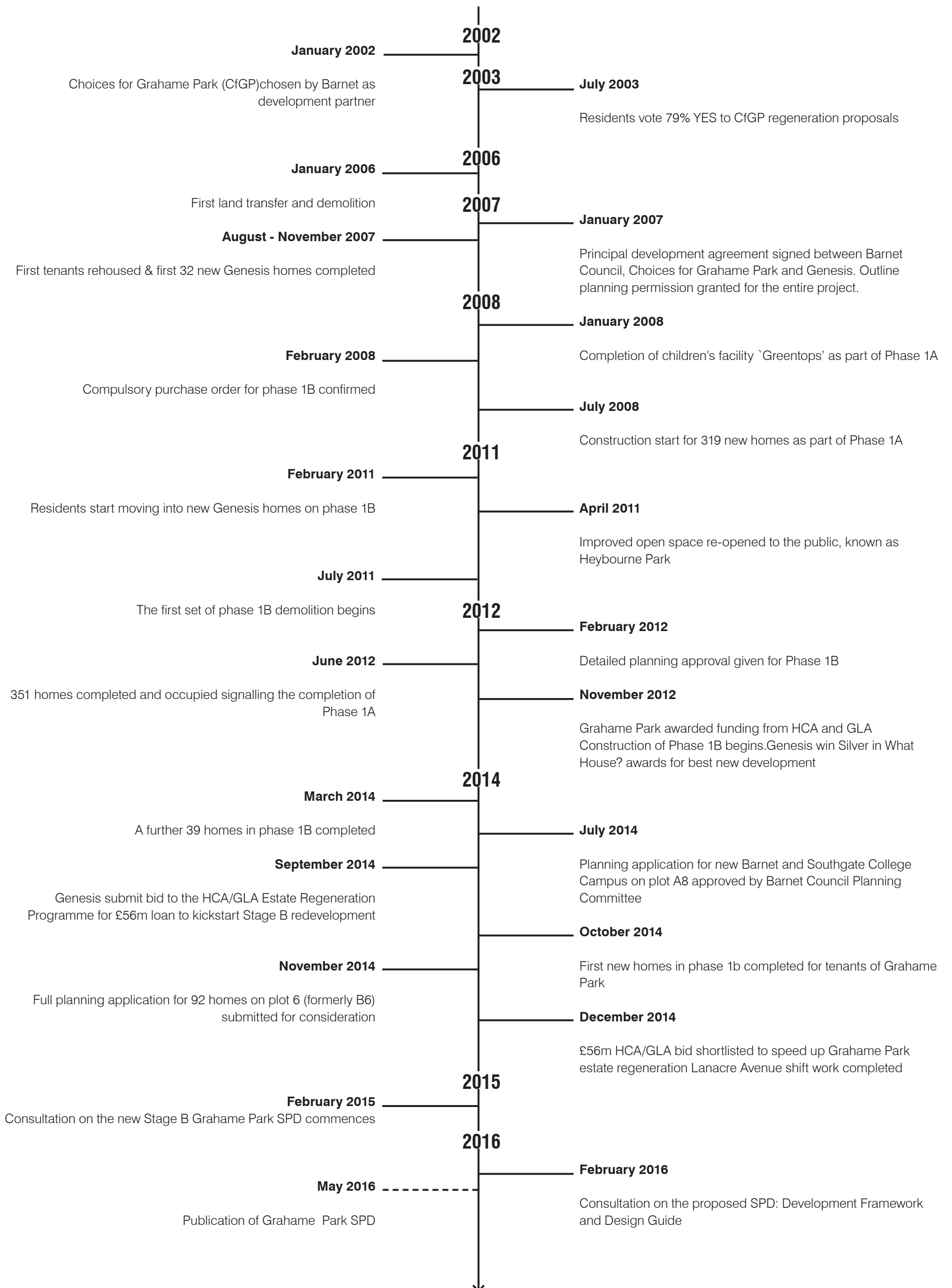
i. Assesses the potential impacts of the SPD on a range of environmental, social and economic criteria and includes a Strategic Environmental Assessment.

Equality Impact Assessment

ii. The EqIA assesses the SPD in the context of the prevention of discrimination against people who are categorised as being disadvantaged or vulnerable within society.

Statement of Consultation

iii. A statement setting out those consulted by LBB in connection with the preparation of the SPD, how the consultations were carried out, a summary of the main issues raised in those consultations and how the representations have been addressed in the SPD.



2.0 BACKGROUND AND OBJECTIVES



2.0

BACKGROUND AND OBJECTIVES

This section gives a broad overview of the physical, economic, social and environmental circumstances of the site and wider area, as well as the site history and the history of Colindale more widely. It will provide the background information to support the vision and objectives of this SPD.

There are three main sub-sections in this section:

- 2.1 The Context:

will describe the strategic context, the history of the site and surrounding area;

- 2.2 The Area Today:

will set out the main physical, economic, social and environmental factors that will influence the development of the site; and

- 2.3 The Vision for Grahame Park:

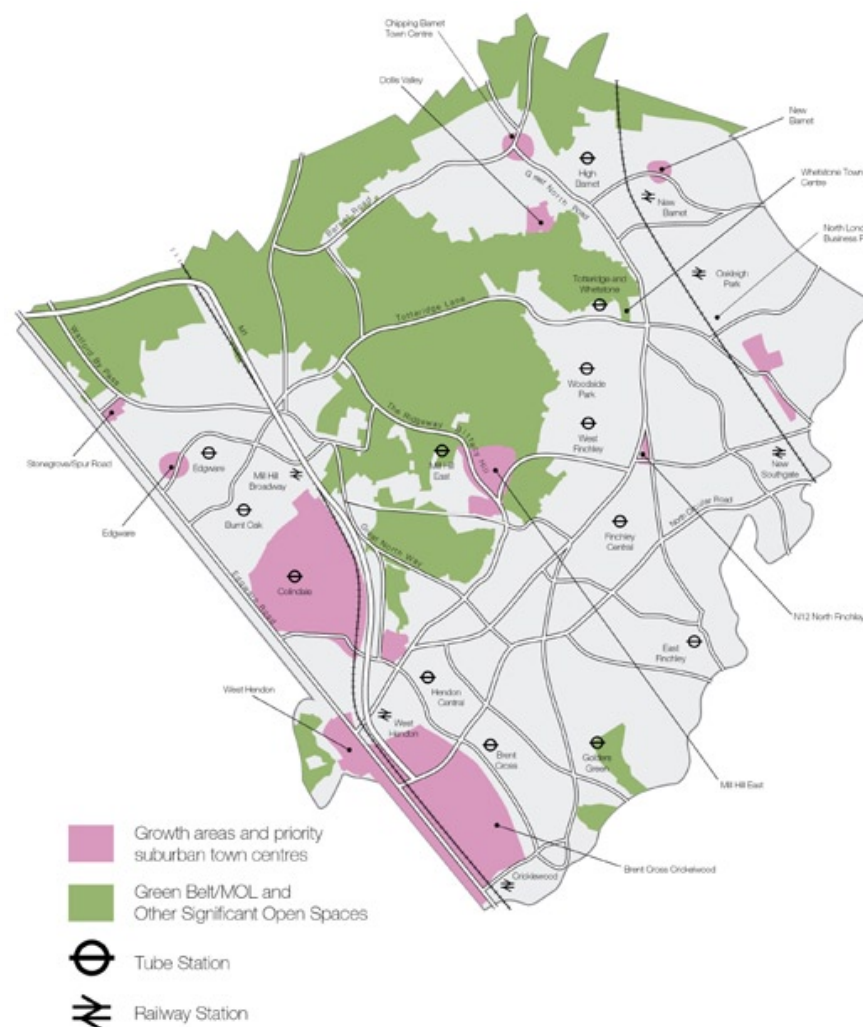
will outline LBB's vision for the new Grahame Park.

This vision has regard to the outcome of consultation and will directly influence the Development Framework set out in Section 3 of the SPD.

2.1 THE CONTEXT

Site and surrounding area

- i. The Grahame Park SPD Area is generally bounded to the west by Lanacre Avenue, to the south by Grahame Park Way, to the east by Great Strand and Corner Mead and to the north by Field Mead. It is located entirely within the Colindale ward of the Borough.
- ii. Grahame Park lies within the 'London-Luton-Bedford' corridor, a nationally recognised growth area of city region importance that the Mayor of London considers will benefit from the coordination of planning and investment. Colindale is expected to play an important role in this growth corridor, given its location between the strategic road network routes of the A5 and M1, as well as the Thameslink railway. The Brent Cross-Cricklewood Opportunity Area, to the south, and the Mill Hill East Intensification Area, to the east, are also both expected to undergo significant regeneration over the next 15-20 years.



The London Borough of Barnet's Strategic Developments in The Three Strands Approach

Strategic Context

- iii. The site falls within the Colindale/Burnt Oak Opportunity Area, as identified in the London Plan. The Opportunity Area (OA) totals 262 hectares and comprises a range of sites mainly for residential-led mixed use, which are at various stages in the development process. The London Plan identifies the Opportunity Area as having capacity to deliver a minimum of 12,500 homes and 2,000 jobs, along with improvements to social and transport infrastructure.
- iv. LBB adopted the Colindale Area Action Plan (CAAP) in March 2010. This document sets out the framework for future development and change in the Colindale Area. Outline planning permission for the regeneration of Grahame Park had already been granted prior to the 2010 adoption of this document, so it was not the intention of the CAAP to directly influence the redevelopment of the site. However, it does contain area specific policies which do however lend support to the on-going regeneration of the estate, the replacement of its neighbourhood centre and its integration with surrounding areas.



The Colindale AAP area (highlighted by the red line)

Description and history of site and surrounding area

v. Grahame Park is the borough's largest housing estate, originally comprising 1,777 units of mostly social rented accommodation, along with a small neighbourhood shopping centre and various community facilities. The estate suffers from a number of socio-economic and physical problems. A tenants participation survey in 1999 identified a number of issues including the poor physical environment and poor image, unsafe and difficult circulation routes owing to the Radburn style separation of vehicles and pedestrians, overcrowding and inappropriate occupancy for large families, a high turnover of stock, poorly placed and poorly integrated local facilities and poor levels of shopping choice.

vi. In 2003 residents voted in favour of a full regeneration of the estate and in 2004 a new Masterplan secured outline consent for the whole site. However, the Masterplan is now 10 years old and out of date with only a small amount of the envisaged regeneration implemented. Since its production, significant private development has taken place on a number of other sites within the immediate area, which has not only affected the viability of Grahame Park, but also threatens to leave it isolated.

vii. GHA and the Council have therefore undertaken a review of the remaining part of the Masterplan for the regeneration of the Grahame Park estate, known as Stage B. The decision has been taken to undertake a comprehensive reappraisal of the site to address various issues, primarily viability but also other issues of product, sales and context within the wider Colindale Opportunity Area A where large quantities of private apartments for sale are being developed.

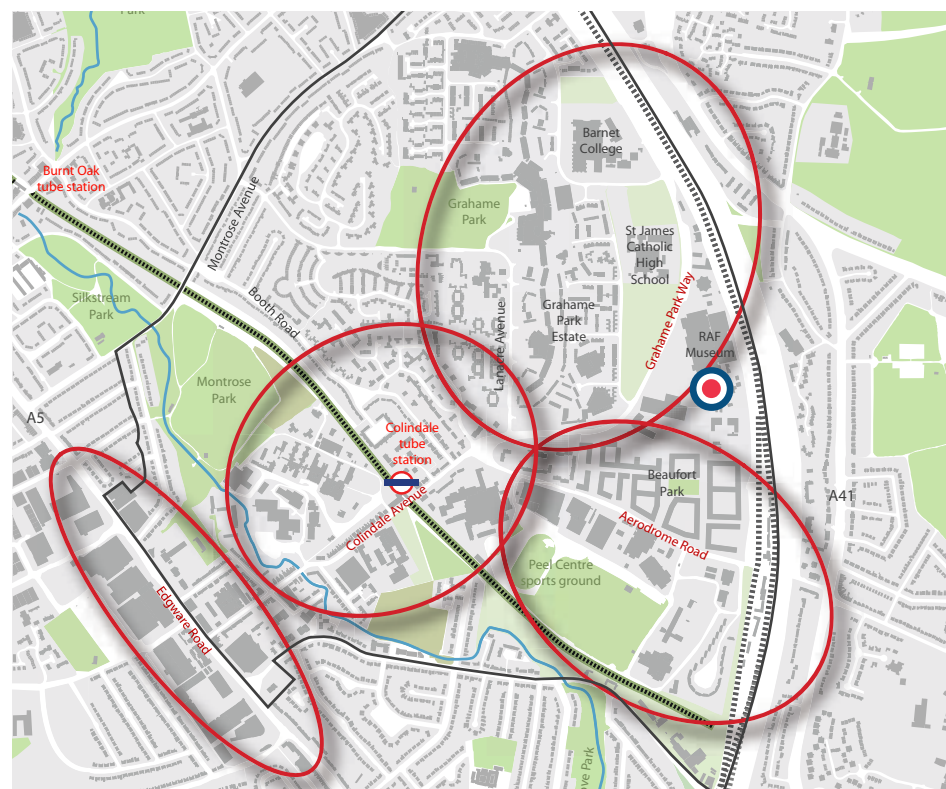
viii. The Grahame Park estate itself comprises a mixture of flats and houses, in buildings of varying heights and set in areas of open space. The central area, known as the Concourse, comprises mainly 5-7 storey apartment blocks and also contains almost all of the retail and community facilities. 4 and 5 storey apartment blocks extend to the north and south of the Concourse, whilst the remaining accommodation is generally 2-3 storey houses and flats. The main area of open space is known as Heybourne Park (formerly known as Grahame Park Open Space) which is located to the west of the Concourse, whilst other areas of informal open space exist between buildings. Phase 0 and Phase 1A have been completed, whilst Phase 1B, at the southern end of the site, is underway.

ix. The immediate site surroundings are mixed in character. To the north and west of Grahame Park Estate are low-density, predominantly 2-3 storey residential estates, ranging from 1970s to schemes currently under construction or recently completed, as well as the Blessed Dominic School. To the south of the estate are Middlesex University student halls of residence, with blocks ranging between 3 and 4 storeys and the residential development known as Beaufort Park. Immediately to the east of the estate is Colindale Police Station, St James' School and the RAF Museum.

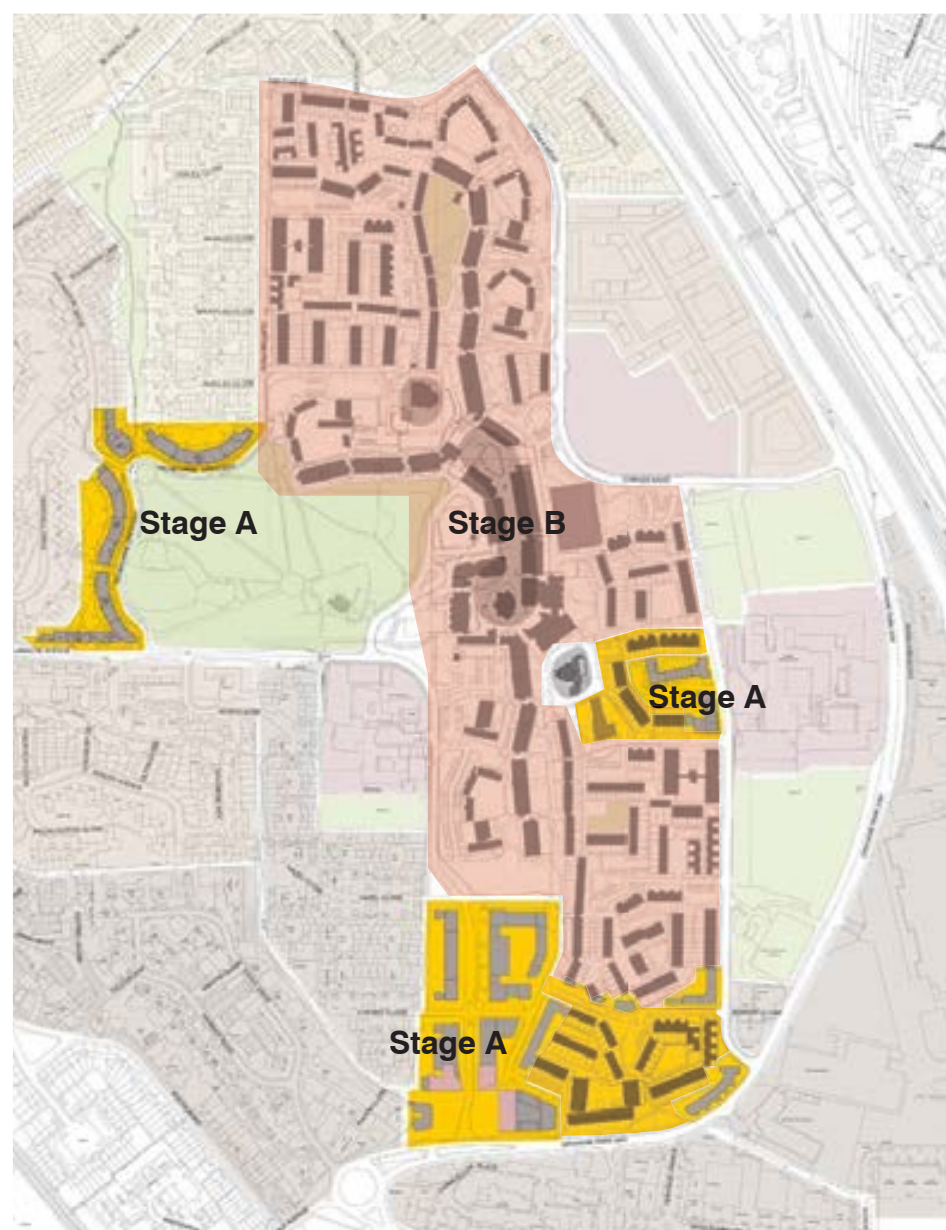
x. A small amount of the regeneration of Grahame Park has taken place already, is under construction, or is committed to by GHA.

xi. Colindale Underground Station, on the Edgware branch of the Northern Line, serves the immediate area and is located some 400m from the southern edge of the estate. The site is well served by the strategic road network, with good access to the A5 to the west and the A41/A1 to the east. The borough boundary with the London Borough of Brent runs along the A5, whilst the M1 and the Thameslink railway form the eastern boundary of the CAAP area.

xii. Grahame Park Estate and its immediate surroundings were developed in the 1960s on the former Hendon Aerodrome, which was one of the earliest aerodromes and aircraft factories in the country and played a key role in the early development of the British aircraft industry and the Royal Air Force. Some buildings from the aerodrome still remain in the area, including the listed former officers' mess and watchtower, whilst the RAF Museum ensures that an aeronautical presence is retained in Colindale.



The Corridors of Change



Grahame Park, Stage A and Stage B zones

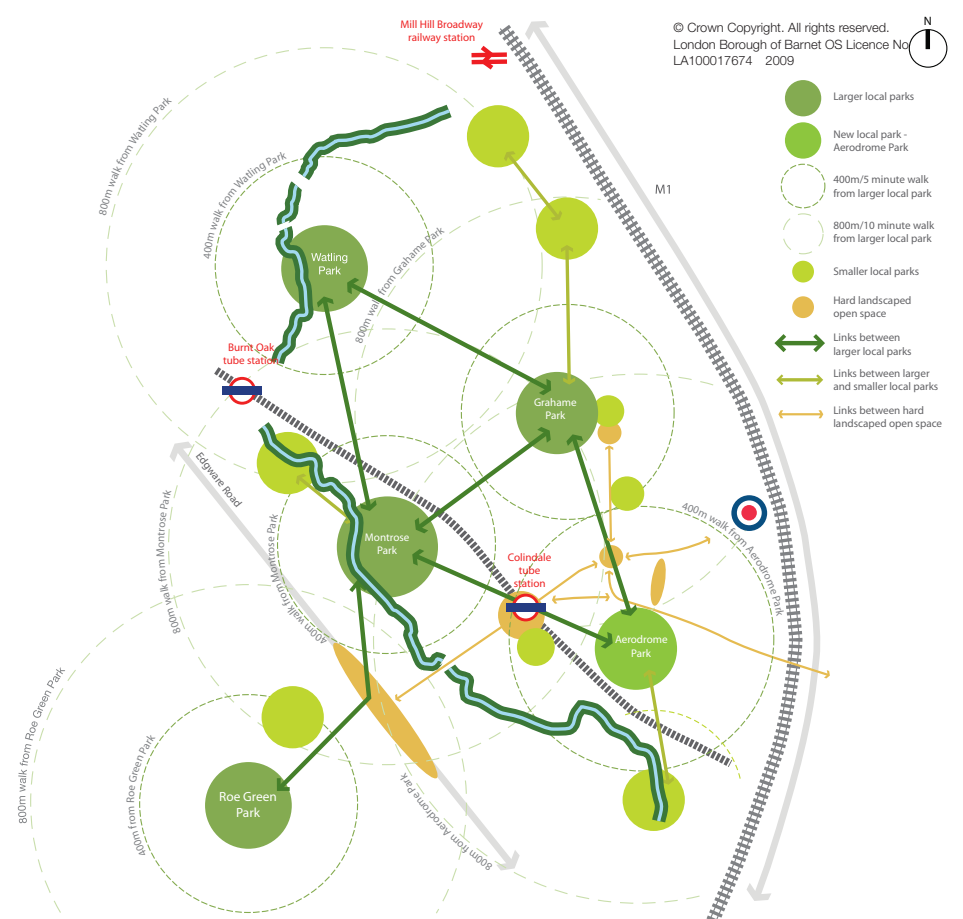
2.2 THE AREA TODAY

Socio-Economic Profile

- i. The Grahame Park Estate is situated in the Colindale ward, which along with the neighbouring Burnt Oak ward contains LSOAs (lower super output areas) that are within London's 10% most deprived for income, including the LSOAs covering the Estate. Grahame Park also falls within the 10% most deprived LSOAs nationally for employment.
- ii. The ethnic make up of the Colindale ward is mixed, with 12.8% describing themselves as Black African, compared to the Barnet average of 4.3%. The ward also has the highest proportion in Barnet of residents of Chinese ethnic origin. In terms of faith, the ward has the highest proportion of Muslims amongst its residents (19% as compared to 10% for the borough) and the joint lowest proportion of Jewish residents. 63% of school children do not speak English as a first language (compared to 44% for the borough), with Somali, Arabic and Tamil the most common languages.
- iii. The data for school year 2011/12 shows that pupils living in Colindale had the lowest GCSE equivalent point scores per pupil in the borough. The overall rate of claiming for Jobseekers Allowance and benefits is higher than both the borough and national levels. The average life expectancy for males is below the Barnet, London and national levels, whilst the figure for women is slightly lower than for Barnet, but higher than the average for London and England.

Environmental Constraints

- iv. The site or the immediate surroundings are not subject to any statutory designations, but Heybourne Park is designated as a borough level site of local importance for nature conservation (SINC). There are also a range of green spaces within the site, as well as across Colindale that have some ecological value. The nearest Sites of Special Scientific Interest (SSSI) to the site is the Welsh Harp, some 2km to the south.
- v. The park supports three habitats; amenity grassland, scattered trees and ponds. Half of the park, including the ponds, has already been improved as part of Phase 1A. Previous ecology reports have found no evidence of habitats supporting protected species (bats or newts) either on, or within 500m of the site. There is however the potential for nesting birds to occupy trees across the site at certain times of the year.
- vi. The site is not within a designated Flood Zone, although there are parts of the site that occasionally suffer from surface water flooding, due to the age and condition of the existing surface water drainage system.
- vii. The whole of the London Borough of Barnet is an Air Quality Management Area (AQMA). At present, the site is not in a location where air quality management targets are exceeded, although there are some pollution sources close by where targets are exceeded, including along the M1 motorway/A41 to the east of the site.
- viii. The M1 motorway and Thameslink railway line are some 200m from the site boundary and are the main sources of background noise in this part of Colindale. The local road network, including Lanacre Avenue and Grahame Park Way, also result in noise emissions that could affect the future occupiers of any development on the site.



Strategic open space plan for Colindale highlighting the need for a new local park within the eastern side of the AAP area

Built Form and Physical Factors

ix. The original estate was built according to the Radburn principles of separating vehicles and pedestrians. This resulted in a row of apartment blocks of generally 4-6 storeys on a north-south alignment, fronting onto a central pedestrian walkway, with open parking courtyards on the periphery. 2 and 3 storey houses with gardens were located along the north western and south eastern boundaries. A central pedestrianised shopping precinct, known as the Concourse, was created in the centre of the estate, adjacent to the park.

x. The area to the west and north of the site generally comprises low density residential development of 2-3 storeys, with some traditional suburban housing layouts as well as blocks of flats surrounded by gardens. The area to the east of the site is more open in character, including school playing fields and the Barnet and Southgate College campus, although this site has planning permission for residential development of generally 4-5 storeys, with a 9 storey corner feature adjacent to Grahame Park Way. In addition, there are large format buildings to the east of Grahame Park Way, including the RAF Museum and Colindale Police Station.

xi. To the south are a number of sites that have allocations in the CAAP, all of which are expected to be larger in scale than the other suburban areas surrounding Grahame Park. Beaufort Park is a principally residential mixed-use development of apartments of generally between 6-10 storeys, with taller elements. The apartments are arranged in perimeter blocks around communal amenity courtyards, with most of the car parking concealed in undercroft areas. Adjacent to Beaufort Park is the Platt Hall site owned by Middlesex University. This comprises 3 storey halls of residence, as well as a listed 2 storey building that is a remnant of the former airfield use. To the south of both of these sites is the Peel Centre, where an application is currently under consideration for a residential-led mixed use development. The CAAP sets out the Council's aspirations and general guidance for built form across Colindale, with some specific guidance on building heights.

Open Space and Play Space

xii. The estate incorporates a number of open spaces, both public and private. The main area of public open space is Heybourne Park that, following construction of Phase 1A, totals 4.25 hectares. Other more informal areas of public open space are scattered across the site and there are also a substantial number of private gardens associated with the existing houses.

xiii. Across the CAAP area, there are a number of other existing open spaces, including Montrose Park and Colindale Park. In addition, the redevelopment of other sites across the area will result in a series of new parks and open spaces being created. Furthermore, Montrose Park is expected to undergo significant investment, including new sports pitch provision.



Existing layout of Grahame Park showing its Radburn layout



Mixed use supermarket and housing, completed in 2015

Local Shopping and Community Facilities

xiv. The estate currently accommodates a range of retail and community uses, most of which are located within the neighbourhood centre in the Concourse. There are currently 9 Use Class A1 retail units, totalling 1,430sqm of floorspace, including a post office and a pharmacy.

xv. Some new retail floorspace has come forward as part of Phase 1B of the development, including a 420sqm Sainsburys local convenience store and two further retail units of 390sqm and 196sqm. The pharmacy is re-locating to these remaining units. This will be in addition to the future neighbourhood centre that is expected to serve Colindale, which will be located between Grahame Park and the underground station, along Colindale Avenue encompassing sites adjacent to the station, as well as the Peel Centre and the former Platt Hall Middlesex University site to the south of Grahame Park Way.

xvi. The CAAP envisages around 5,000sqm gross of retail space, along with supporting health, leisure and community uses. The new neighbourhood centre is envisaged to serve the existing and new population across Colindale, whilst not impacting on the vitality and viability of other town centres. The CAAP supports the re-provision of the existing neighbourhood centre on Grahame Park, whilst the Barnet Local Plan seeks to ensure that there is no significant reduction of local shopping facilities as a result of development proposals.

xvii. At present, Grahame Park is occupied by a range of existing community facilities, including a community centre, a health centre and adult learning facilities, such as the Flightways Centre.

xviii. In addition, a number of other community facilities have, or are expected to, come forward on other sites across Colindale, including the Former Colindale Hospital site (Pulse), Beaufort Park and the Peel Centre.



Initial consultation held February 2015

Stakeholder Overview

xix. Grahame Park does not have a dedicated residents association or resident-led community action group. However, the local group known as the Colindale Community Trust that runs a group known as Grahame Park Strategy, which brings together local stakeholders to address socio-economic issues affecting the Estate.

xx. Other local stakeholders include:

- the NHS, who operate the health centre;
- Barnet Homes, who are the social housing landlords; and,
- the Churches, who have freehold interests in their sites.

Engagement has been on-going with these stakeholders and further details are set out in the Initial Consultation Report accompanying this draft SPD.

2.3 THE VISION FOR GRAHAME PARK

The Vision

- i. We want the Grahame Park area to become a successful, family-friendly neighbourhood, incorporating the high standards of design, a good mix of uses, and a layout that will meet the needs of current and future generations.
- ii. We want to help achieve an inclusive community made up of existing residents and new residents living together in a safe, accessible environment.
- iii. We want the area to be known for high quality affordable and private homes that address a variety of local needs, including those of the elderly and vulnerable. We also want the area to be known for an outstanding environment with excellent parks and great streets which are accessible to all.
- iv. We want residents to choose to stay in the area because of its quality, such as in its schools and facilities. Overall we want to create a place with a strong sense of community.



A distinctive sense of place

Achieving the vision

We will support the regeneration of our neighbourhood by setting out key principles on the quality of new homes, improved access and transport, great streets, squares, parks and community facilities in the Supplementary Planning Document (SPD).

We will use the guidance established in the SPD to achieve a phased re-development of Grahame Park over the next 15-20 years. The plan will deliver high quality private and affordable homes. There will be a significant proportion of family homes, together with facilities needed by families, to make sure the area is family-friendly.

The new development will retain many of the existing streets but they will be improved to link better with the wider area and provide safe, calm access throughout the area for pedestrians, cyclists, buses and cars. The new homes will overlook the streets and open spaces so there will be much better natural security.

Good urban design and high quality architecture will enable us to provide around 3000 new or refurbished homes, more than at present. Design excellence will be at the core of the redevelopment and we will emphasize and control design quality at each stage of the development to create a varied and interesting new residential neighbourhood.

To reinforce its role as a place for families to live and flourish we will deliver a range of quality public and private open spaces, new local services and opportunities for shopping, employment and training across three new community hubs. The first of these, in Lanacre Avenue is already taking shape.

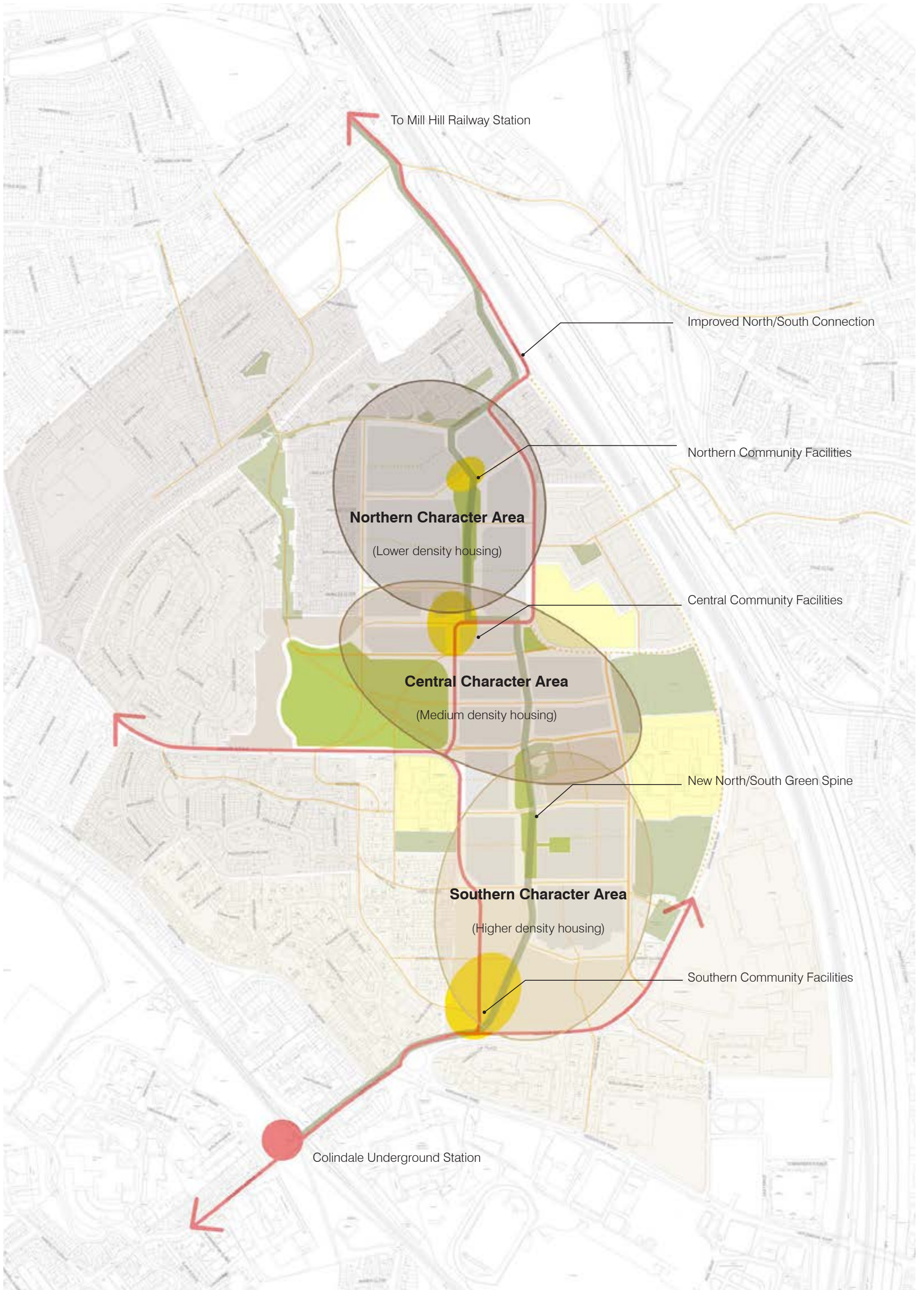
In this way we will build an exemplary neighbourhood in which current and future residents and their children will want to live and of which we can be justifiably proud.



Safe, overlooked play spaces



Inclusive & accessible public spaces



Key Outcomes

v. The new neighbourhood will be constructed around a traditional network of streets, reflecting successful Victorian and Edwardian suburban areas as typical of London streets. The buildings will be low scale, generally no more than 6 storeys with some taller elements to mark key corners, edges and community uses.

vi. New housing should be available in a mixture of tenures, providing some new replacement social rented accommodation, shared ownership and additional social housing where viable, along with enabling private sale housing.

vii. All housing should be built to up-to-date standards in terms of internal space and energy efficiency. There is an opportunity to deliver a large proportion of the new housing as family units, either as maisonettes or as terraced townhouses. This will help with current overcrowding issues on the estate, as well as contributing to a more balanced mix of unit types across the Colindale area.

viii. The regeneration will inevitably improve the quality of the housing stock across the estate, but it is important that features such as cycle storage, amenity space and general storage are designed in from the outset. It will also be important that new housing is fully accessible and adaptable to future needs. Housing should, wherever possible, have front doors to the street and not too many flats to a stairwell core, in order to improve surveillance of the public realm and community cohesion.

ix. The objective is to provide good quality private and communal garden space, whilst ensuring that all properties have good outlook either to the street or to garden areas or open space. Good levels of daylight and sunlight should be achieved, so it will be important that primary windows are not overshadowed. Back to back distances and the design of the housing should ensure that privacy is not compromised.

x. The existing estate is poorly integrated with surrounding neighbourhoods, so it will be important that any new masterplan puts a strong emphasis on improving connections with neighbouring routes, with a particular emphasis on pedestrian, cycle and public transport.

xi. The objective is to create three distinct character areas that connect better with surrounding neighbourhoods. It is important that these character areas relate to their surroundings, both architecturally and in the way that they function. Each character area should have localised centres of activity with shops and community facilities that are accessible to new residents and existing residents of surrounding areas.

xii. It is envisaged that a new network of streets will be created with a clear hierarchy, to ensure that larger roads can accommodate buses, whilst smaller residential streets are narrower and quieter, with reduced traffic speeds. The street network should offer people a choice of routes and should be complimented by features and distinctive buildings that aid navigation. Streets and spaces should not be overly dominated by car parking, but adequate spaces should be provided to serve the development.

xiii. The pedestrian environment within the estate is not user friendly. The aim is to improve some existing well used routes by replacing surface materials and lighting, as well as introducing better natural surveillance from new buildings to reduce anti-social behaviour. New footpaths should be sited close to people's front doors where possible to ensure that they are active and overlooked.

xiv. The existing community facilities are generally concentrated in the Concourse area and, with this area likely to be demolished soon, it will be necessary to ensure continued provision of services through phasing of development or temporary facilities if necessary.



Private rear gardens to family homes



Generous entrance spaces and communal areas



Clearly defined street layouts which are active and overlooked

xv. The objective is to ensure that community and retail facilities are clustered in convenient and accessible locations in each of the character areas. The southern character area already has planning approval as part of Stage A (Phase 1B) for retail and community facilities, including the re-provided library, as well as the re-located Barnet and Southgate College campus.

xvi. The estate has a number of existing green open spaces, including Heybourne Park and areas of public space in between the existing blocks. Many of these spaces have an attractive, wooded quality, with mature trees of amenity value. These spaces should be retained and enhanced, retaining as many trees as possible. Open spaces should be refurbished as development progresses, so that improvements can be realised after each phase of development.

xvii. There are currently a lot of levels changes in the public realm, including underpasses and uneven surfaces. The new neighbourhood should be fully accessible to all and should incorporate surface materials that will stand the test of time.

xviii. It will be important that the new and refurbished open spaces contain activities for all age groups, including play areas for children, outdoor gym and sports facilities for adults and sitting places for the elderly.

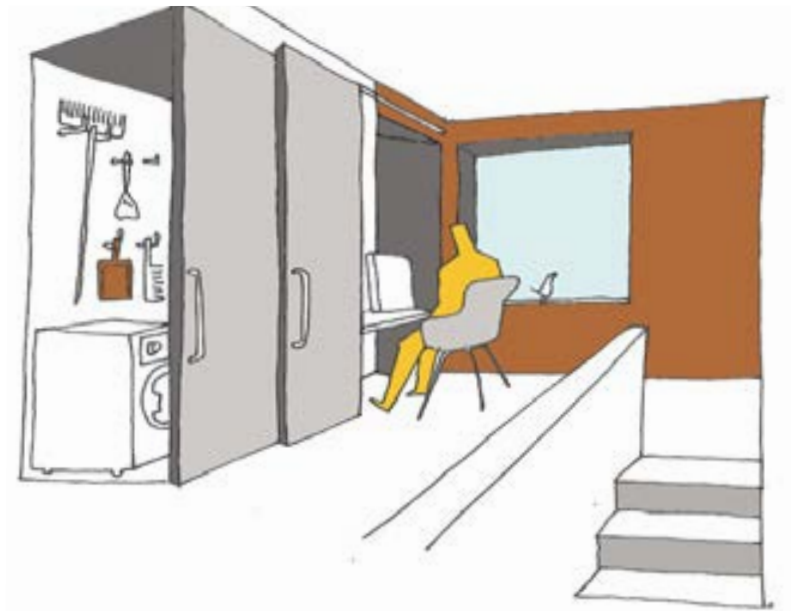
xix. In addition, new open spaces should be created as part of new development, including pocket parks, and doorstep play areas. The usability and ecological value, rather than the size or amount of open spaces, will be the important consideration. New tree planting should be maximised, including on streets and in amenity areas.

xx. The Concourse currently blights the rest of the estate and the strategy is to ensure that this is demolished as part of the next phase of development to bring about the change that is needed to add drive to the regeneration.

xxi. The scheme should provide all necessary infrastructure to support the new community, including replacement community and retail facilities, improved public transport, highways enhancement and job brokerage for local people.



Mixed use approach allows for convenient retail and community facilities



Quality housing that is adaptable and provides good storage

3.0 DEVELOPMENT FRAMEWORK



3.0

DEVELOPMENT FRAMEWORK

To ensure the full regeneration of Grahame Park is delivered to the highest design standards, this Development Framework aims to graphically represent the Vision as set out in this SPD document in Section 2.0.

The Development Framework sets out quantitative principles at a site-wide level through parameter drawings. These parameters act as a foundation for the qualitative principles set within the Design Guidelines, in Section 4.0 of this document.

This document should be read in conjunction with all relevant policies, including the National Planning Policy Framework, Barnet Planning Policies, The London Plan and others.

3.1 CORE DESIGN PRINCIPLES

Creating Better Neighbourhoods

- i. The Neighbourhood Concept Plan (Figure 3.1), presents the approach to the regeneration of the Stage B area of Grahame Park.
- ii. The approach aims to create three Character Areas; the qualities of which relate contextually to the provision of mixed uses, landscape and open space, movement routes, the relationship to the surrounding street network and buildings, heights and densities and building form and articulation.
- iii. The Southern and Northern Areas should define distinctly different urban characters, whilst the Central Character Area pivots between the two, playing an important role to link existing routes, open spaces and facilities in the surrounding area with the growing regeneration and the new central community hub. This approach will be instilled across the estate through comprehensive redevelopment and mixed retention and renewal, to ensure integrated, sustainable, and viable regeneration and urban renewal.
- iv. The Design Guidelines that follow on from this Development Framework section order the Character Areas in this way, ordered from Southern, to Northern and finally to Central, which blends the two.
- v. All plans within this Development Framework are illustrative, and have been developed through a rigorously tested design process. The core principles were presented and supported at public consultation in February 2015. The Statement of Community Involvement can be found in the Initial Consultation Report 2015.

Core Design Principles

- vi. The core design principles which underpin the masterplan approach are:
 - To knit the site into surrounding neighbourhoods by connecting routes, locating convenient community services and enhancing green spaces
 - To remove the concept of the 'estate' by establishing three areas of distinct character in tune with their surroundings, with localised centres and public amenities
 - To improve public facilities with community hubs located across the site to serve the southern, central and northern areas and wider neighbourhoods. See Section 3.2
 - To improve public open space, by enhancing green assets and mature trees, to create useable, attractive, safe and active routes and parks, well positioned for the immediate and wider community. See Section 3.3 and 3.4
 - To improve accessibility with a familiar, legible network of traditional streets and safe, attractive walking routes. See Sections 3.4 and 3.5
 - To develop new quality homes that are well planned, sustainable and adaptable for current and future generations. See Sections 3.6 and 3.7.

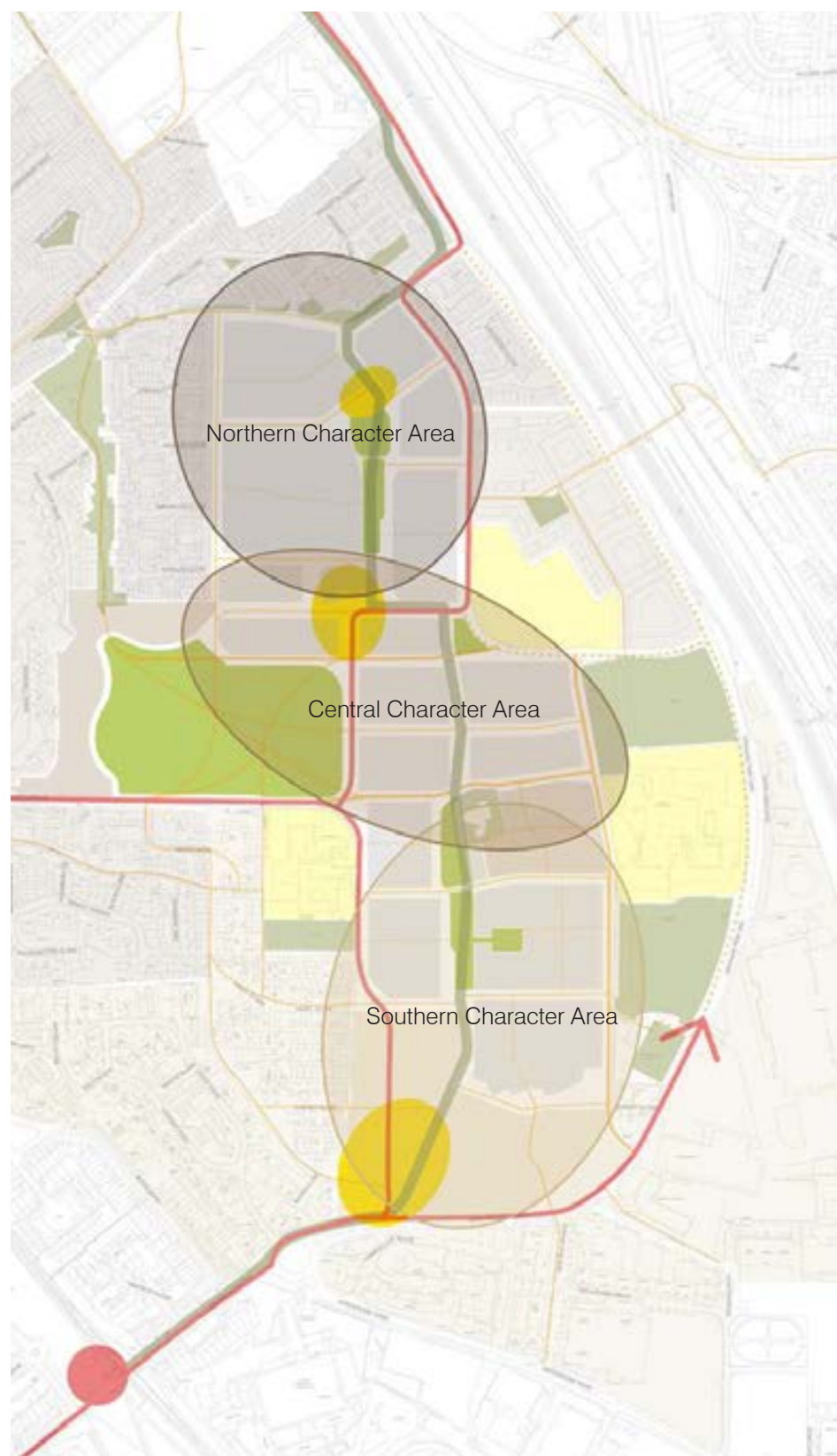


Figure 3.1 - Neighbourhood Concept Plan

3.2 LAND USE MIX

This section sets out the parameters for the siting, amount and types of uses that will be provided across the masterplan.

This is driven by the need to deliver quality residential development as primarily family housing, supported by community facilities and local amenities, located appropriately for the new development and the wider neighbourhoods.

Approach

- i. The predominant use will be residential, but there will be non-residential uses in some areas.
- ii. The land-use parameter plan separates the development into numbered plots and sub-plots. This plan shows the location of the uses and specifies where the different types of non-residential uses will be located.
- iii. For the purposes of this document, comprehensive redevelopment prescribes a full demolition and new build approach to these plots.
- iv. For the purposes of this document, mixed retention and renewal prescribes an infill approach to these plots. This does not prohibit the ability to expand opportunities in the future to include comprehensive redevelopment where appropriate.

Table 3.2 - Use Class Table

Character Area	Sub Plots	Use Class (Maximum Area, GIA m ²)		
		A Retail Uses	D1/D2 Community/ Health Uses	Energy Centre
Central	10 B	500	500 Other D uses eg. Gym	
			1000 Health Centre 800 Children's Centre 500 Community Centre	
Central	10 C	270	1000 Health Centre 800 Children's Centre 2000 Combined Church & Community use	
Central	11 A	500	May share 10B uses	
Central	19A			500*
Northern	16 & 17	500		
Total		1770	3800	500

*Size and location of Energy Centre if relocated to be advised in an Energy Study

Residential Use

- v. This SPD is prepared on the basis of 2161 homes for the area of Stage B. This number is illustrative of the type of quantum to be delivered on site, but should be regarded as indicative as it can be affected by shifts in the housing mix or variations in the assumed density as the design is developed. This figure shall include any existing units that are retained as part of the new development across the areas indicated in Figure 3.2, Land Use Plan.
- vi. Delivery of residential dwellings will need to fall within the range set for habitable rooms, set out as 7442 - 9550 habitable rooms across the framework.
- vii. Numbers of residential units will be provided in each sub-plot in accordance with the density ranges in Section 3.7 Building Heights and Density of the Development Framework.
- viii. Types of residential units will be provided in accordance with the unit type range in Section 3.8 Residential Typologies of the Development Framework.

Non-Residential Use

- ix. Non-residential uses will be provided in accordance with the Land Use plan (Figure 3.2) and the Use Class Table (Table 3.2).
- x. Where the location of some Community Uses is duplicated between plots 10B and 10C in Table 3.2, each use should be allocated to one plot, to a maximum of the quantum allocated for that use.
- xi. Residential provision may be acceptable on Plot 10C where this is needed to support the re-provision of good modern community facilities on the site. Such residential provision should be in keeping with the nature of the community facilities and the surrounding residential context.
- xii. Across the whole of Grahame Park (stages A and B), a minimum of 1,770 sqm of retail uses should be provided. A proportion of this is provided as part of Stage A (as shown on the Land Use Plan, figure 3.2). The remainder will be provided in Stage B in the Central Character Area and Plot 18 as shown. Of the 1770sqm across both A and B, 1430sqm should be predominantly A1 uses, with other A uses also acceptable.
- xiii. Notwithstanding the retail uses permitted, no betting shops /bookmakers shall be provided as part of the development.
- xiv. Outside of Plot 10C, retail uses, followed by community uses, will be prioritised for location on the 'Primary Shopping Frontage', before location in the rest of the areas allocated for Non Residential Uses Stage B, shown on the Land Use Plan, Figure 3.2.
- xv. The location of retail uses will be limited to ground floor space only.
- xvi. Outside of the 'Primary Shopping Frontage' locations, allowance can be given for A Class retail floorspace to be reallocated as flexible residential maisonette units, in response to local need and viability.
- xvii. An explanation of how and when each use will be delivered can be found in the Delivery section of this SPD.

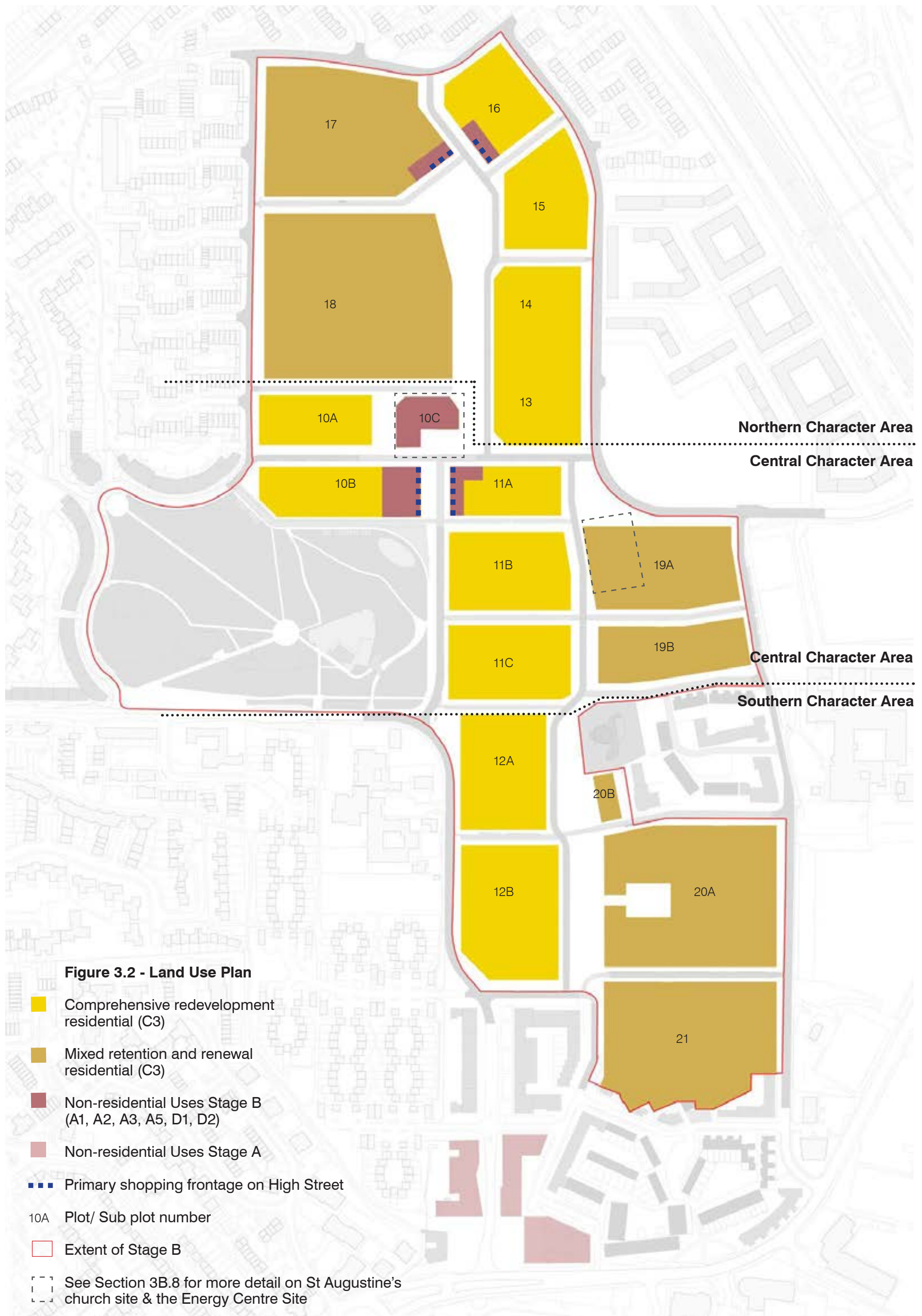


Figure 3.2 - Land Use Plan

- Comprehensive redevelopment residential (C3)
- Mixed retention and renewal residential (C3)
- Non-residential Uses Stage B (A1, A2, A3, A5, D1, D2)
- Non-residential Uses Stage A
- Primary shopping frontage on High Street
- 10A Plot/ Sub plot number
- Extent of Stage B
- See Section 3B.8 for more detail on St Augustine's church site & the Energy Centre Site

3.3 OPEN SPACES & PLAY PROVISION

This section sets out the parameters for open space and play, in order to create a safe and accessible network of open spaces, integrated with play areas, connected by attractive walking and cycling routes.

These are defined through fixed and unfixed open spaces, based on mature trees and other existing green assets, to ensure the delivery of high quality public amenity space for all residents and neighbours to benefit from.

Table 3.3A - Open Spaces Table

	Plan Ref	Type of Public Open Space	Reference Name	Description
Southern Character Area	S1	Fixed	Southern Woodland Walk	Linear space with mature trees, wild planting, paths and seating
	S2	Fixed	Wooded Park	Established open green space with cluster of mature trees
	S3	Unfixed	Pocket Park	Small open green space with new planting and play space
Central Character Area	C1	Fixed	Neighbourhood Park	Large open space serving wider area, to be improved with new landscape design and outdoor sports facilities
	C2	Fixed	Corner Mead Landscape	Soft and hard contoured landscape with mature trees
	C3	Unfixed	Pocket Park	Small green space defined by clusters of mature trees
	C4	Fixed	Rooftop Play	Sports facility or youth space inhabiting the Energy Centre rooftop*
		Fixed	Public Realm	Large area of high quality public realm as a new public square at St Augustine's Church site*
Northern Character Area	N1	Fixed	Village Green	Useable Open Public Amenity
	N2	Fixed	Northern Woodland Walk	Linear Route with mature trees and wild planting, paths and seating
	N3	Unfixed	Pocket Park	Small green space with new planting
	N4	Unfixed	Pocket Park	Small green space with new planting

Table 3.3B - Locations for Play Provision Table

Age group	Walking distance from all dwellings	Offsite Open Spaces	Fixed Open Spaces	Unfixed Open Spaces	Within Development Plots (communal gardens, residential streets etc)
12+	800m	✓	✓		
5-11	400m		✓	✓	
-5	100m		✓	✓	✓

*Future of the Energy Centre dependent on an Energy Report. See Section 4.10.
*Also see Section 4.9 regarding the redevelopment of St Augustine's Church Site.

Approach

- The Public Open Spaces and Play Provision Parameter Plan (right) specifies where the new or enhanced open spaces and public realm will be provided as part of the development.
- The two tables (below) set out the types of open space and play that will be integrated as part of this approach.

FIXED Public Open Space & FIXED Public Realm

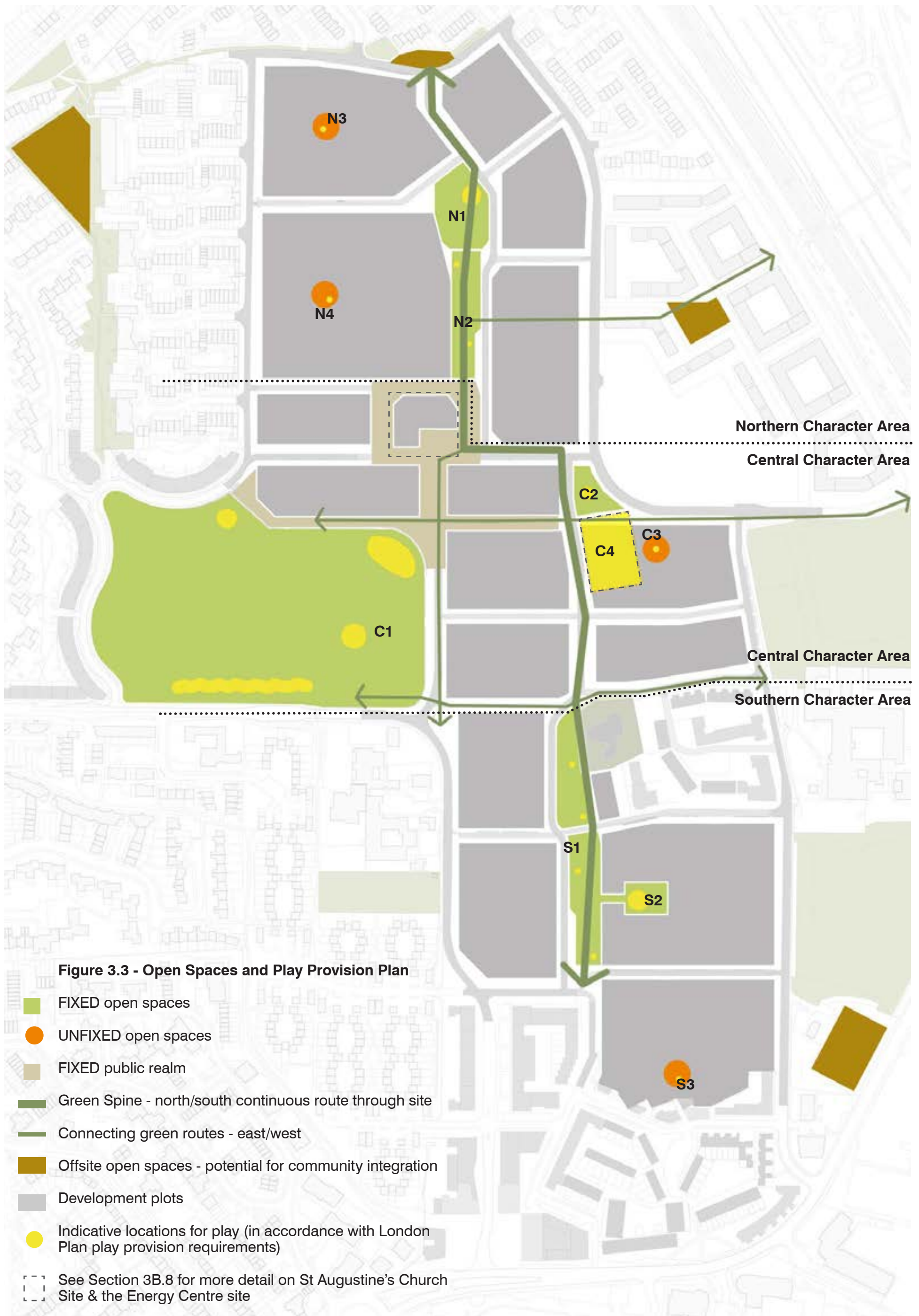
- Fixed public open spaces are areas of accessible public amenity based on the existing green assets, defined by established areas of mature trees and green space. This is the starting point around which the overall concept for Grahame Park has evolved.
- Fixed spaces must be delivered in the locations specified on the plan (Figure 3.3), in accordance with the descriptions set out in Table 3.3A.
- Fixed spaces must also make provision for play spaces as set out in Table 3.3B to enable appropriate accessibility to play from all dwellings.

UNFIXED Public Open Space

- Unfixed spaces are flexible in their location, providing immediate access to public green amenity space and play facilities.
- The location of unfixed spaces needs to respond to required play provision distances, as specified in Table 3.3B to enable appropriate accessibility to play from all dwellings. With the position of unfixed routes through plots (see Section 3.5), this should create a fully accessible network of play spaces across the site.
- In addition, unfixed public open spaces should be located to take advantage of existing green assets within the plot, particularly the value of existing mature tree lines and clusters, as set out in the Tree Strategy in Section 3.4.

Play Provision Approach

- The location of proposed public open spaces in Table 3.3A must ensure walking distances are met for play provision in Table 3.3B.
- Play provision for different age groups is prioritised for different open spaces, both on site and within the surrounding network of existing green spaces, as per Table 3.3B.
- For example, under 5s should be provided for in all local opportunities on site due to the close walking distances, whereas the over 12s can travel further so can be provided for with spaces that are larger and slightly further afield.
- Areas for play need to be provided in line with The London Plan. A link is available in the electronic version of this document at: <http://www.london.gov.uk/priorities/planning/london-plan>.
- The intended type and character of play is set out in the Design Guidelines per character area.
- An explanation of how and when each area of public open space will be delivered can be found in the Delivery Section of this SPD.



3.4 TREE STRATEGY & REAR GARDEN CONDITIONS

This section sets out the parameters for the retention of the existing quality of mature trees on site.

Enhancing green assets is a core principle, drawing on the existing prevalence of mature tree lines and clusters through the site, to improve public open space and routes.

The conditions for rear spaces have also been set out, differing through the site for the on-plot approach to rear courts and gardens.

Approach

- i. The existing character of large mature trees and existing green spaces has driven the location of fixed public open spaces and the Green Spine. For Open Spaces, see Section 3.3.
- ii. The overarching principle for tree retention and replacement must be to incorporate and protect all existing living and healthy trees.
- iii. Exceptions to the above will only be made if special circumstances are put forward which will benefit the Masterplan and its objectives, outweighing the loss of a tree.

Tree Retention

- iv. The Tree Strategy Plan shows the importance of two categories of existing trees on site in defining the character of the Masterplan:
 - Existing trees on fixed open spaces & the Green Spine
 - Existing trees on-plot & on-street
- v. The retention of existing mature trees, particularly in tree lines and clusters, is desirable as the foundation to creating high quality public and private spaces within the masterplan.
- vi. Existing retained trees on fixed open spaces and the Green Spine should ensure the quality, longevity and integrity of character for each space, in line with the details in the Design Guidelines.
- vii. Existing retained trees on-plot and on-street should ensure the proposed character of the public realm, streets, rear courts and gardens is in line with the details in the Design Guidelines,

Tree Replacement

- viii. Each planning application should be accompanied by a Tree Retention and Replacement Strategy. This Strategy should relate to an arboricultural survey that would also accompany the application and should explain:
 - The number and location of existing trees on the application site;
 - The number and location of existing trees to be removed, along with the arboricultural and/or SPD explanation for each removal; and
 - The number and location of new trees to be planted on the application site.
- ix. It will be expected that the removal of any tree will be replaced within the plot to achieve no loss of greenery or coverage. As a minimum, this could either be achieved on a 'two for one' basis, or one for one if a like for like relocation can be made. This should be detailed as part of each application and this is to be set out in the Tree Retention and Replacement Strategy.
- x. New trees should be located in line with the principles for streets and rear courts & gardens, as set out in the Design Guidelines section of this SPD.

Rear Garden Conditions

- xi. The approach to rear gardens is directly related to the approach for on-plot parking, set out in Section 3.6, and should be read in parallel with Figure 3.6 Car Parking Provision Plan. These are defined by three conditions:
 - Podiums, which use the majority of the rear space in the sub-plot to create a communal garden above a covered parking area beneath
 - Rear courts, which create private raised terraces, projecting a limited distance over the open parking area beneath
 - Private rear gardens, which depict ground-based, private gardens in traditional terraced arrangement.
- xii. The intended character for each of these rear garden types is set out per Character Area in the Design Guidelines section of this SPD.



Figure 3.4 - Tree Strategy Plan

- Existing trees on fixed open spaces & the Green Spine
- Existing trees on-plot & on-street
- Green Spine - north/south continuous route through site
- Connecting green routes - east/west
- Rear garden condition - predominantly podiums & rear courts.
- Rear garden condition - mix of podiums, rear courts & private rear gardens.
- Rear garden condition - predominantly private rear gardens.

Northern Character Area

Central Character Area

Central Character Area

Southern Character Area

3.5 STREET HIERARCHY

This section sets out the parameters for the locations and types of streets and routes that will be provided throughout the scheme.

Pedestrians and cyclists are prioritised with the design of accessible, legible and safe routes, linking new streets with existing to knit the development into the surrounding area.

As a key principle, it is envisaged that the Green Spine (see Section 3.3) will be a popular, safe and attractive leisure route through the length of the site. This will allow for separate cycling and pedestrian routes, for walking on pavement and through the Public Green Spaces, and for cycling along the adjacent Avenue.

All road layouts are illustrative and are subject to traffic modelling, to be used to support future planning applications.

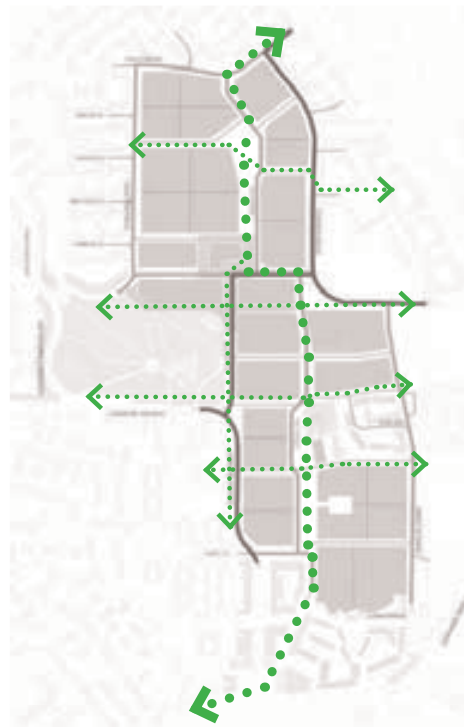






Figure 3.5A
Pedestrian Priority Routes



Figure 3.5B
Bus Route Strategy

Table 3.5 - Street Hierarchy Table

Hierarchy	Typology	Fixed / Unfixed
 Primary Routes (Boundaries and Bus Route)	2m pavements (or 3.1m for location of bus stops or outside of schools) either side of 7.3m wide carriageway, accommodating bus route and with cycling integration	Fixed
 Secondary Routes (Boundaries and the Avenue)	2m pavements either side of 5.5m wide carriageway with integration for cycling.	Fixed
 Tertiary Routes (The Lanes)	2m pavements either side of 5.5m wide carriageway with integration for cycling.	Fixed
 Residential Streets (Types A & B)	Type A: 2m pavements either side of 4.5m wide carriageway through plots. Type B: Shared surfaces incorporating parking, planting and local play provision. Both prioritise the integration and accessibility of cyclists and pedestrians in these spaces	Fixed and Unfixed

Approach

- The Street Hierarchy Plan identifies the network of streets that will form the layout of the new neighbourhood. A description for each is given in Table 3.5.
- The approach establishes a network of FIXED routes between plots that create a safe, accessible and legible street pattern, knitting the site into the surrounding area. UNFIXED streets subdivide the plots further to encourage movement and permeability as more local, residential connections.
- The balanced integration of pedestrians, cyclists and vehicles along safe and attractive routes is a priority, in order to create defined streets that are active, legible, overlooked and visually open. This is in contrast to the current condition, which separates vehicle and pedestrian routes, to the detriment of each plot (see Figures 3.5A & B).
- The plan allows for a bus route to pass along a central route connecting to existing bus routes in the north and south of the SPD area. This is currently expected to be the 303 bus route (see Figure 3.5B).
- All routes are to allow for cycle integration with other vehicles, as per Manual for Streets 1 & 2 and TFL LCDS guidance. Faster cyclists are likely to use the Primary Routes, as is the norm for the Stage A development and the wider area, and the Avenue expected to be slower moving and quieter, for more leisurely cycling along the Green Spine, and adjacent to green spaces.
- Consideration should be given for crossovers and junctions, particularly with primary routes. All streets are to be fully accessible with dropped or flush kerbs, footways and crossings.
- The Primary Route which includes the Bus Route will be adopted. Adoptability of other roads will be considered at the time of each planning application and in light of current policies at the time of applications. All adopted streets will be designed to conform with LBB standards.

FIXED Routes

- FIXED routes can only be provided in the locations shown on Parameter Plan, Figure 3.5C. The detailed character of the FIXED street typologies is set out in the Design Guidelines section per Character Area.

UNFIXED Routes

- The UNFIXED Routes located on the Street Hierarchy Plan, Figure 3.5C show where movement routes must be provided through plots. These routes are essential to increase permeability and accessibility, and ensure the development is well integrated into the surrounding neighbourhood.
- The locations of UNFIXED Routes shown on the Street Hierarchy Plan, Figure 3.5C are flexible. They should be as linear as possible and respond to other masterplan objectives set out in this document, relevant to both Mixed Retention and Renewal and Comprehensive Redevelopment approaches (see Section 3.2).
- UNFIXED Routes provide important accessibility to play, particularly for dwellings nearer the periphery of the site. Their layout should be considered in conjunction with walking distances to play provision, set out in Section 3.3.
- UNFIXED Routes employ only the Residential Streets Type A and B. Their detailed character is set out in the Design Guidelines section per Character Area.
- If plots are to be further subdivided beyond the routes shown on the Street Hierarchy Plan (Figure 3.5C), only Residential Streets Type A and B can be used.

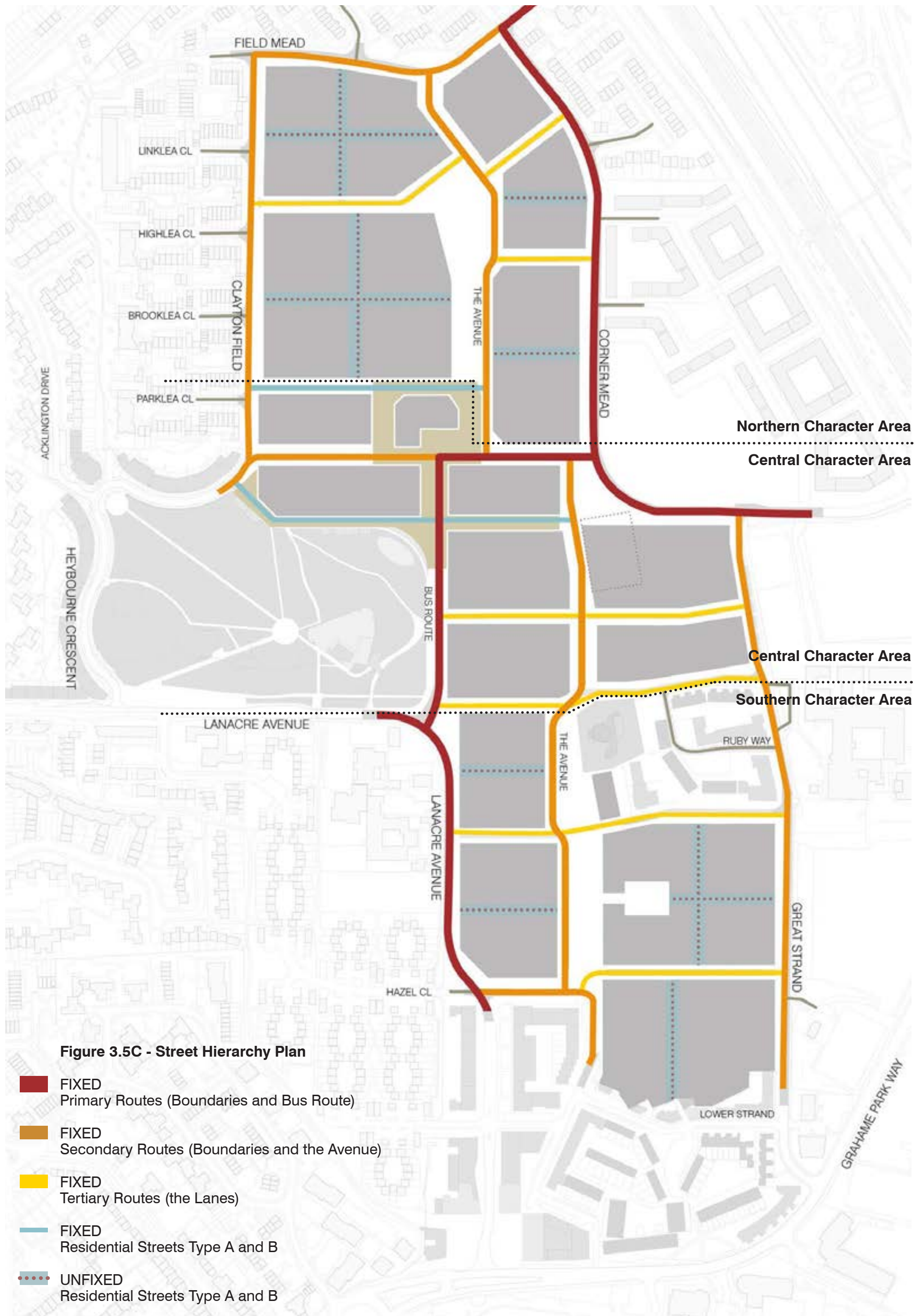


Figure 3.5C - Street Hierarchy Plan

- FIXED**
Primary Routes (Boundaries and Bus Route)
- FIXED**
Secondary Routes (Boundaries and the Avenue)
- FIXED**
Tertiary Routes (the Lanes)
- FIXED**
Residential Streets Type A and B
- UNFIXED**
Residential Streets Type A and B

3.6 CAR PARKING














This section sets out the parameters for the quantum and types of car parking that will be provided across the scheme.

The preference is for on-street car parking to be exercised across the whole site. on-plot parking is expected to be more prevalent in the south with higher densities and mansion block typologies, and minimal in the north with lower densities and more traditional streets, gardens and housing typologies.

Approach

- i. The Car Parking Provision Plan (Figure 3.6) specifies the approach to car parking and where different parking typologies will be acceptable.
- ii. On-street parking should reflect typical London streets, with some parking provided in clusters on green edges (at the edge of open spaces) and on some boundary routes, as specified on the Car Parking Provision Plan, Figure 3.6. This approach should be read in conjunction with the Street Hierarchy Plan, Section 3.5, and the street details within the Design Guidelines.
- iii. On-plot parking should correlate with the approaches for rear garden conditions, building heights and densities and residential typologies. These are set out respectively in Sections 3.4, 3.7 and 3.8 of this Development Framework, and detailed per Character Area within the Design Guidelines.
- iv. Cycle parking will be provided at key destinations such as public open spaces and at the Neighbourhood hubs, integrated into the public realm in convenient and accessible locations, as per the CAAP.

Table 3.6 - Parking Ratio Table

Character Area	Indicative Ratio	On-Street Approach	On-Plot Approach
Southern Character Area	0.7	<ul style="list-style-type: none">  Parking acceptable on all streets Bay parking acceptable on: <ul style="list-style-type: none">  Green Edges  Residential Streets Type B 	<ul style="list-style-type: none">  Acceptable in a mix of: <ul style="list-style-type: none"> • Podiums • Rear Courts
Central Character Area	0.9	<ul style="list-style-type: none">  Parking acceptable on all streets Bay parking acceptable on: <ul style="list-style-type: none">  Green Edges  Residential Streets Types A and B 	<ul style="list-style-type: none">  Acceptable in a mix of: <ul style="list-style-type: none"> • Podiums • Rear Courts
Northern Character Area	1.2	<ul style="list-style-type: none">  Parking acceptable on all streets Bay parking acceptable on: <ul style="list-style-type: none">  Green Edges  Residential Street Type B  Some Boundaries 	<ul style="list-style-type: none">  Acceptable in a mix of: <ul style="list-style-type: none"> • Rear Courts (minimal, adjacent to Avenue only) • Garage parking (minimal - only on Residential Street Type B. See restrictions)

Ratios

- v. Table 3.6 sets out the indicative parking ratios for each of the Character Areas. These ratios should be commensurate with the Public Transport Accessibility Level (PTAL) of each area. The current PTAL ratings (2015) are 2-3 in the Southern Character Area, 2 in the Central Character Area and 1-2 in the North.
- vi. Parking provision for the development as a whole and the design of road networks will meet the Council's Policy DM17 Travel Impact and Parking Standards of the LB Barnet Development Management Document. It should include other forms of parking, such as for, electric cars, disabled access, car club use and other requirements in accordance with parking policy.
- vii. Parking on-street is to be un-allocated and to allow residents to access car parking within a distance of the adjacent plot.
- viii. Consideration should be given to the provision of car club bays, depending on demand from operators

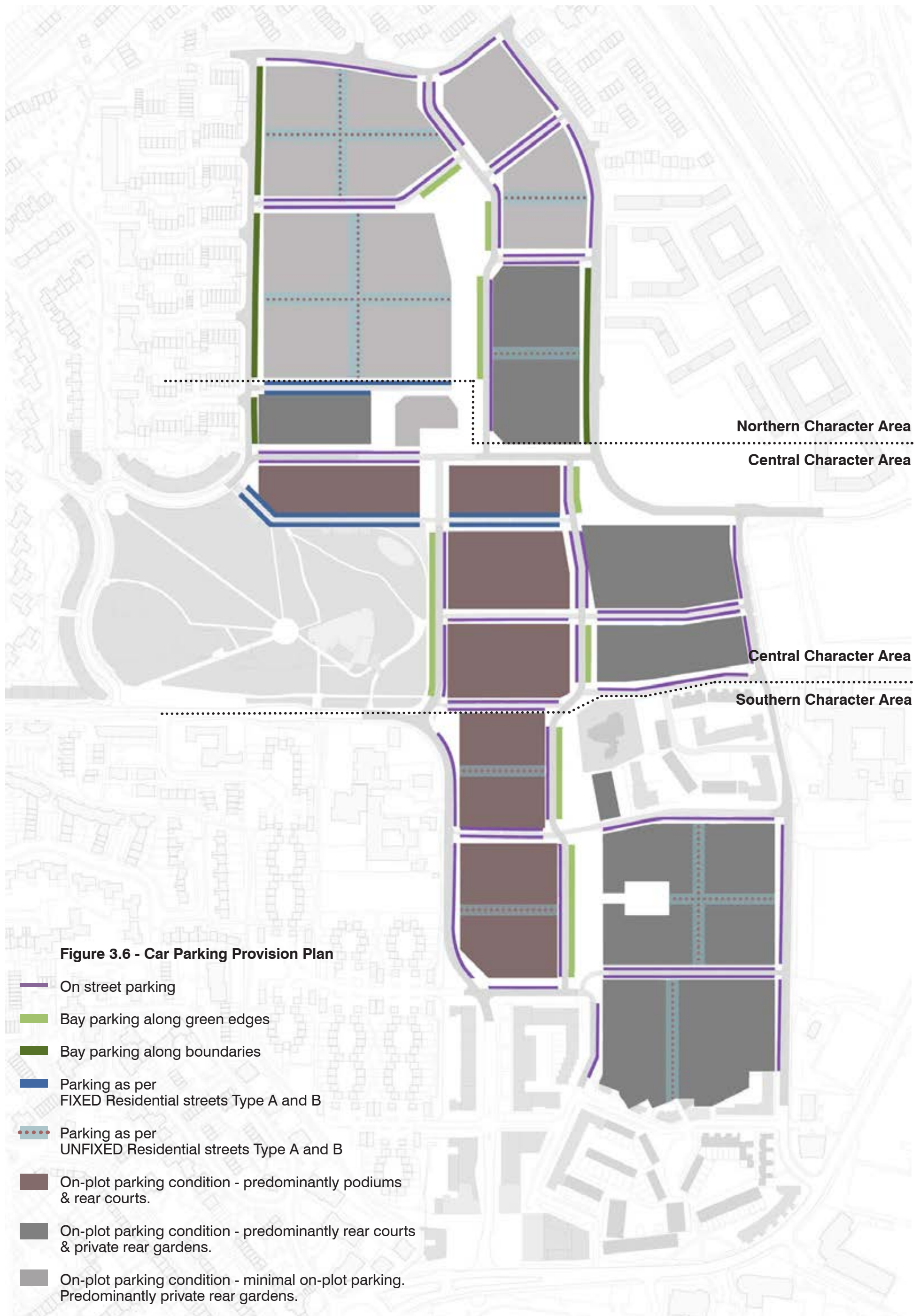
Type

- ix. It is expected that a Controlled Parking Zone (CPZ) will be exercised on publicly managed roads.
- x. Podium parking allows for cars to be located beneath a communal garden level, accessed by the associated residents only, with integrated bin storage. Lightwells and planting link between the two levels.
- xi. Rear court parking consists of a resident-only shared space for parking, with raised private gardens projecting from the dwellings above. The parking is generally open and overlooked, with attractive surfacing and planting.

- xii. Private rear gardens indicates units which would have minimal to no on-plot parking. In the case of the Northern Character Area, single garages integrated within single family dwellings would be acceptable on Residential Street Type B only. These dwellings would comprise a maximum of 50% of the units on the street, to ensure the majority of the street retains active dwelling frontages.

Mixed Retention and Renewal

- xiii. The character and quality of these conditions is set out per Character Area in the Design Guidelines.
- xiv. The quantitative provision of parking for both comprehensive redevelopment and mixed retention and renewal needs to be measured in relation to relevant planning policy at the time of submitting proposals.
- xv. The intended approach for parking within each Character Area as set out in the Development Framework and Design Guidelines should be taken forward in mixed retention and renewal development as far as possible.
- xvi. It is proposed that mixed retention and renewal development should achieve the prevailing parking ratio designated for the character area in which the site is situated. This approach can be subject to a detailed survey within the design process which will identify any special circumstances which may affect this approach.



3.7 BUILDING HEIGHTS & DENSITY

This section sets out the parameters for building heights and density. The approach aims to ensure new development is in keeping with surrounding areas as far as possible.

As a principle, the scale and density of buildings reduce from south to north, in line with the proposed character areas and the neighbouring context.

Approach

- i. The Heights and Massing Plan (Figure 3.7B) specifies the typical height of buildings for each plot, as well as locations for feature buildings.
- ii. The massing approach is sensitive to new and existing neighbouring context by graduating from the highest development in the south to the lowest in the north. Through the site, feature buildings, named 'key frontages' and 'prominent corners' provide landmarks and way-finding devices and frame public spaces.
- iii. Heights for each area have been set out in Table 3.7. In areas of mixed retention and renewal (see Land Use Plan, Figure 3.2), development needs to respond more sensitively to immediate buildings, therefore density and heights of typical blocks and prominent corners have been set out accordingly.

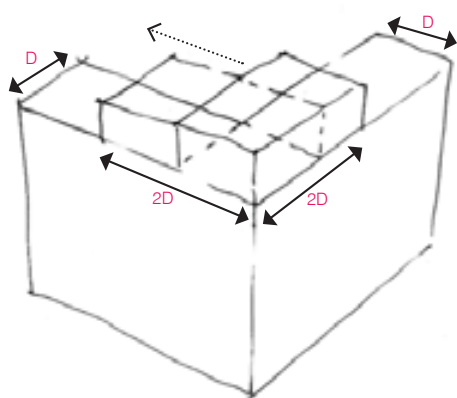


Figure 3.7A - Example of Prominent Corners and Nodes, see paragraph xiii.

Table 3.7 - Height & Density Ranges

Comprehensive Redevelopment	Density Range (U/ha)	Minimum Height (storeys)	Maximum Height (storeys)	Prominent Corners maximum height (storeys)
Southern Character Area	130-160	4	6	8
Central Character Area	100-130	3	6	8
Northern Character Area	50-100	2	4	5

Mixed Retention and Renewal	Density Range (U/ha)	Minimum Height (storeys)	Maximum Height (storeys)	Prominent Corners maximum height (storeys)
Southern Character Area	130-160	2	5	6
Central Character Area	100-130	2	5	6
Northern Character Area	50-100	2	4	5

Density

- iv. Density will be calculated in accordance with guidance set out in the London Plan and Mayor's Housing SPD, on a net site area basis for each Character Area on assessment of each planning application. Calculation methodology for mixed use development will apply on applications that incorporate non-residential uses.
- v. Densities will be expected to lie within the ranges set out in Table 3.7, but proposals must also comply with the other requirements of this SPD, so it will not necessarily be appropriate for all proposals to be at the top end of the ranges.

Building Heights

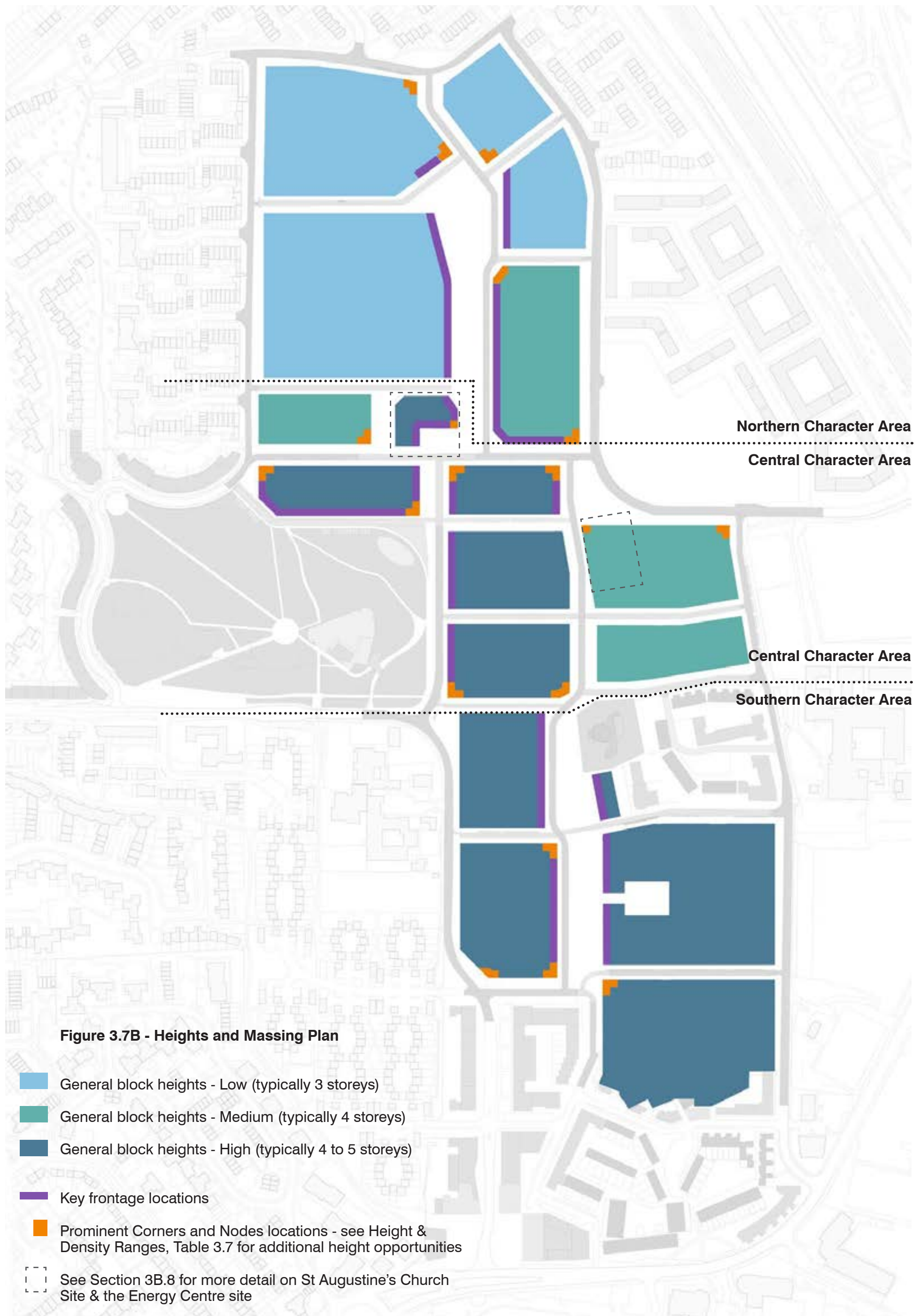
- vi. Residential storey heights shall be a maximum of 3.5m and non-residential 4.5m (floor to floor), subject to requirements of land-uses.
- vii. Typical block heights should always be proportional to the width of streets as set out in each of the street sections in the Design Guidelines. It will not necessarily be acceptable to maximise heights in all areas.

Key Frontages

- viii. Key frontages are classified as the buildings that front onto the main fixed open spaces, located in fixed positions on plots, as per Figure 3.7.
- ix. These buildings should utilise the maximum height afforded to them per character area, intended to establish a hierarchy of buildings within their locality as the most prominent buildings of the plot.
- x. These buildings have an important role to play in framing large public spaces and overlooking active movement routes through the site. As 'foreground' buildings, their facades should be more open, proud and animated, in tune with the character of the public open spaces and respond to views from both close and afar.

Prominent Corners and Nodes

- xi. Prominent Corners and Nodes are classified as positive built moments, located strategically, adjacent to fixed open spaces and on long view lines. Their positions are suggested, as per Figure 3.7B, but does not preclude other locations.
- xii. Building heights for the prominent corners can extend above the maximum height parameters, as set by the Heights and Density Range Tables.
- xiii. To ensure prominent corners and nodes are maintained as a 'point height' and do not extend along the full building frontage, this additional height is permissible along the building's frontage, to an approximate distance of 2x the depth of the building, typically in just one direction. See Figure 3.7A.
- xiv. These height freedoms are to encourage flexibility and diversity in design for these unique locations. It will not be acceptable to provide the maximum height as specified for every location.
- xv. Where prominent corners and nodes are shown within the Energy Centre and St Augustine's Church sites, these are not expected to provide residential accommodation, but allow for a singular point of substantial height as, for example, a chimney or church spire respectively.



3.8 RESIDENTIAL TYPOLOGIES

This section sets out the parameters for residential building typologies, reflective of the three Character Areas and their relative densities, with an emphasis on family housing.

In line with the Heights and Density Parameters (see Section 3.7), the building typologies graduate from mansion blocks in the South, to more traditional terraced housing in the north. The central portion of the site presents a combination of the two, defined by contextual relationships to public open spaces, the community hub, nearby schools and adjacent developments.

Approach

- i. The Masterplan sets out to deliver a high level of family sized housing. The quantum for the mix of dwelling sizes is set out in Table 3.8 for unit mix.
- ii. The provision of these dwelling types within the masterplan is defined by three typologies: mansion blocks, terraced housing and mixed typologies.
- iii. The Residential Parameter Plan Figure 3.8 explains where these would be prioritised across the scheme. Details of the character of the housing typologies can be found in the Design Guidelines section.

Mixed Retention and Renewal

- iv. Mixed retention and renewal development should ensure careful consideration is given for neighbouring and retained buildings.
- v. The intended urban grain of each Character Area as set out in the Design Guidelines should be taken forward in mixed retention and renewal development as far as possible.
- vi. Mixed retention and renewal development should in particular ensure the edges and corners of plots express the proposed built character and residential typology set out for each Character Area.

Unit Mix

- vii. The Unit Mix Table (Table 3.8) sets out the mix of units that would be expected to come forward per plot in each Character Area.
- viii. Applications will be assessed against the ranges set out in Table 3.8, alongside current policy, and the dwelling mix will be expected to fall within these ranges.

Table 3.8 - Unit Mix Table

	1 beds	2 beds	3 & 4 beds
Southern Area (High Density)	15-30%	20-40%	30-50%
Central Area (Medium/Mixed Density)	10-25%	20-40%	40-65%
Northern Area (Low Density)	0-20%	15-30%	50-80%

Mansion Block Typologies

- ix. Mansion block typologies predominantly consist of stacked maisonettes, with flats at upper levels. These are the tallest and densest blocks in the masterplan, relating more to central Colindale. For corresponding heights and densities per Character Area, see Section 3.7 of the Development Framework.
- x. Block typologies are compatible with podium and rear court parking. These types should be read in conjunction with Sections 3.4 and 3.6 of this Development Framework, for rear garden conditions and car parking respectively.
- xi. Development at the corners of plots are defined with strong built form. This is particularly prevalent in the Southern Character Area as characterised in the Design Guidelines.

Terraced House Typologies

- xii. Terraced house typologies are the lowest rise and lowest density blocks, consisting predominantly of single family houses with traditional private ground-based rear gardens. These types should be read in conjunction with Sections 3.4, 3.6 and 3.7 of this Development Framework, for rear garden conditions, car parking and building heights & densities respectively.
- xiii. Development at the corners of plots should be presented with gable ends. Necessary breaks in the built line, expressed with strong garden walls, should celebrate the pattern of traditional terraced housing and rear gardens. This intended built character is set out in the Design Guidelines section of this SPD.

Mixed Typologies

- xiv. Mixed typologies enable a combination of flats above single or stacked maisonettes, and single family terraced houses, to create a blend of architectural massing and type that are set out for the Southern and Northern Character Areas.
- xv. Mixed typologies suit a combination of rear court parking with raised gardens, and traditional ground-based rear gardens.
- xvi. These types should be read in conjunction with Sections 3.4, 3.6 and 3.7 of this Development Framework, for rear garden conditions, car parking and building heights & densities respectively.

Continuous Plot Frontage

- xvii. The locations of continuous plot frontage show where built form should present a continuous street facade where possible for each plot edge, preferring not to be broken by garden walls or gable elevations.
- xviii. These are mainly located on the boundary streets, to give a consistent and defined street frontage elevation, clearly ordering, overlooking and animating the outer edges of the site. This approach intends to knit new development into the existing neighbourhood, interacting with surrounding development in an open, positive and sensitive manner.
- xix. Punctuations through the continuous plot frontage from the location of UNFIXED streets are appropriate as either a full break in the building line, or as two storey cut-throughs. The character of these building lines and appropriate punctuations are detailed by Character Area in the Design Guidelines.

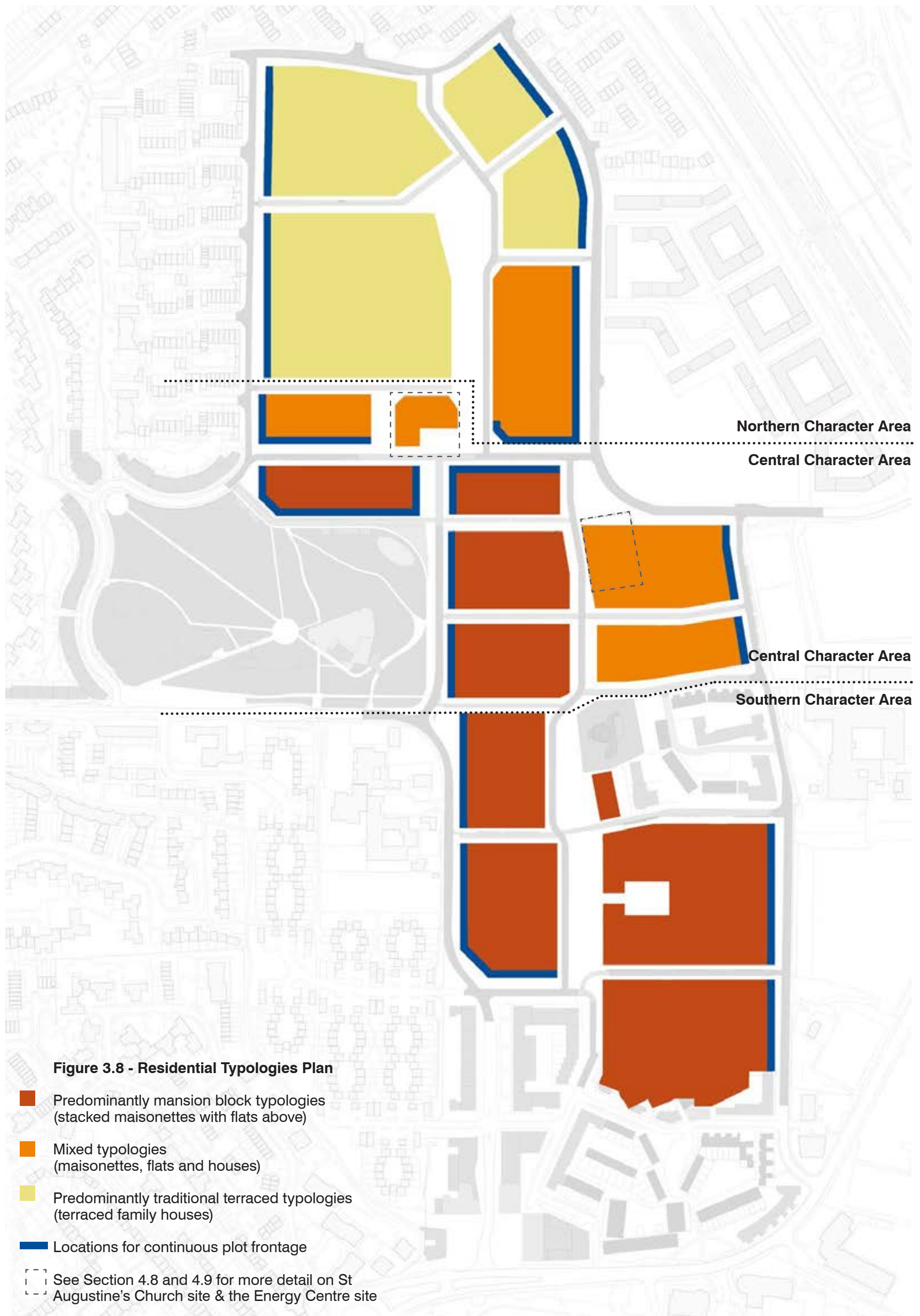


Figure 3.8 - Residential Typologies Plan

- Predominantly mansion block typologies (stacked maisonettes with flats above)
- Mixed typologies (maisonettes, flats and houses)
- Predominantly traditional terraced typologies (terraced family houses)
- Locations for continuous plot frontage

--- See Section 4.8 and 4.9 for more detail on St Augustine's Church site & the Energy Centre site

4.0 DESIGN GUIDELINES



4.0

DESIGN GUIDELINES

The following design guidance focuses on defining the qualitative aspects of the Northern, Central and Southern Character areas, along with the site wide open space qualities, and aims to represent the vision as set out in this SPD document in Section 2.

These qualities can be defined through the following:

- Quality of Open Spaces & Public Realm**
- Quality of Streets**
- Quality of Rear Courtyards and Gardens**
- Quality of Architecture**

The guidance ties in with the Development Framework and adds qualitative guidelines to developing designs.

This document should be read in conjunction with all relevant policies, including the National Planning Policy Framework, Barnet Planning Policies, The London Plan and others.

4.1 SITE-WIDE OPEN SPACE STRATEGY

This section sets out the public realm and landscape principles for the creation of a green infrastructure network as a strategic driver for the regeneration of Grahame Park.

The main principles are to connect and enhance existing green assets to create pleasant and beautiful open spaces and routes, enable intuitive navigation and increased accessibility, visibility and footfall, through intensification of the public realm, and integrate safe, usable play areas and facilities for all the community.

- i. The current layout of the Grahame Park Estate is generally disjointed, unnavigable and inhospitable, with many open spaces having been neglected and lost their identity. Spaces present a glimpse of their former appeal, for example, the southern woodland zone with its mature trees, the gently sloping neighbourhood park enhancing the sense of distance and the zig-zag green to the north as a smaller grassy open space. Around the site, the school grounds and sport-fields are ill-connected and under-valued as part of the wider green network.
- ii. The Site-wide Open Spaces Strategy sets out how the phased development will establish a green infrastructure that builds on existing qualities and sets out to deliver a well connected and well used pedestrian and cycle network that knits the former Grahame Park Estate into the surrounding neighbourhoods.
- iii. This strategy should be read alongside the Colindale Open Spaces Strategy to ensure integration with the wider network.



Play and planting overlay where space is limited
(Installation, Dymaxion Garden)



Space for riding bikes in an undulating landscape
(Haggerston park, Hackney)



Play set within mature trees and planting.
(Play area, Clapton Common)

The Site Wide Open Spaces Strategy is achieved through:

A site-wide green infrastructure strategy to enhance existing assets and create safe, accessible and useable open spaces

- iv. The aim is to create a network of open spaces that is beautiful and intuitive to manoeuvre, defined by existing mature tree lines and clusters. Proposed green routes through the site and the wider area aim to reinforce uniformity in existing and desirable routes, with heightened priorities for pedestrian and cycle movement, attractive planting, incidental play and amenity space and connectivity to community uses.

A site-wide network of streets that prioritise pedestrians

- v. Main strategic routes will connect wider neighbourhood links with larger green open spaces, play spaces, bus stops and amenities, ensuring their success by intensifying footfall, visibility and accessibility. Integrated elements such as continuous comfortable pavements, safe road crossings, well designed and well placed lighting and street furniture will all be essential to nurturing and safeguarding the success of this strategic network.

Public realm design guidance that defines a single site-wide material palette and character to ensure intuitive navigation through the site.

- vi. The material palette (see Section 4.2) draws on the TFL Streetscape Guidance and is intentionally simple in order that Grahame Park as a neighbourhood can merge with the wider site of Colindale.
- vii. The overriding impulse must be to invest in the elements which gives both the greatest qualities and are robust. Examples include enhancement and investment in mature trees, granite kerbs and generous street furniture.

A site specific approach to the Character Areas, enhancing local qualities and features, expressed through playable landscapes for all ages.

- viii. If the streetscape palette is a simple site-wide background, the playable landscapes can both accentuate and reinforce the character areas. Alongside the provision of green space and play provision within existing enhanced assets such as Heybourne Park and the Southern Woodland Walk, new pocket parks and green streets will offer play opportunities where distance to existing larger green spaces is too great, exceeding the London Plan guidelines. As such, investment in small areas should be far greater per square metre, than those that benefit from larger, existing open spaces.

- ix. Pocket parks should instil a specific character that enhances the local neighbourhood, so that is not piece-meal but reinforces the identity of a place, with opportunities to be planned as one thematic space, such as a swing park, cycle park or climbing park for example. See corresponding images (left).
- x. The diagram on the opposite page illustrates the elements that form the main strategic green plan for the new developments. They enhance existing qualities and connect currently detached links. This allows improvement of the area to happen one step ahead of each phase, harnessing the opportunities of isolated assets, ensuring development can become rooted and residents can benefit from this investment from the start.

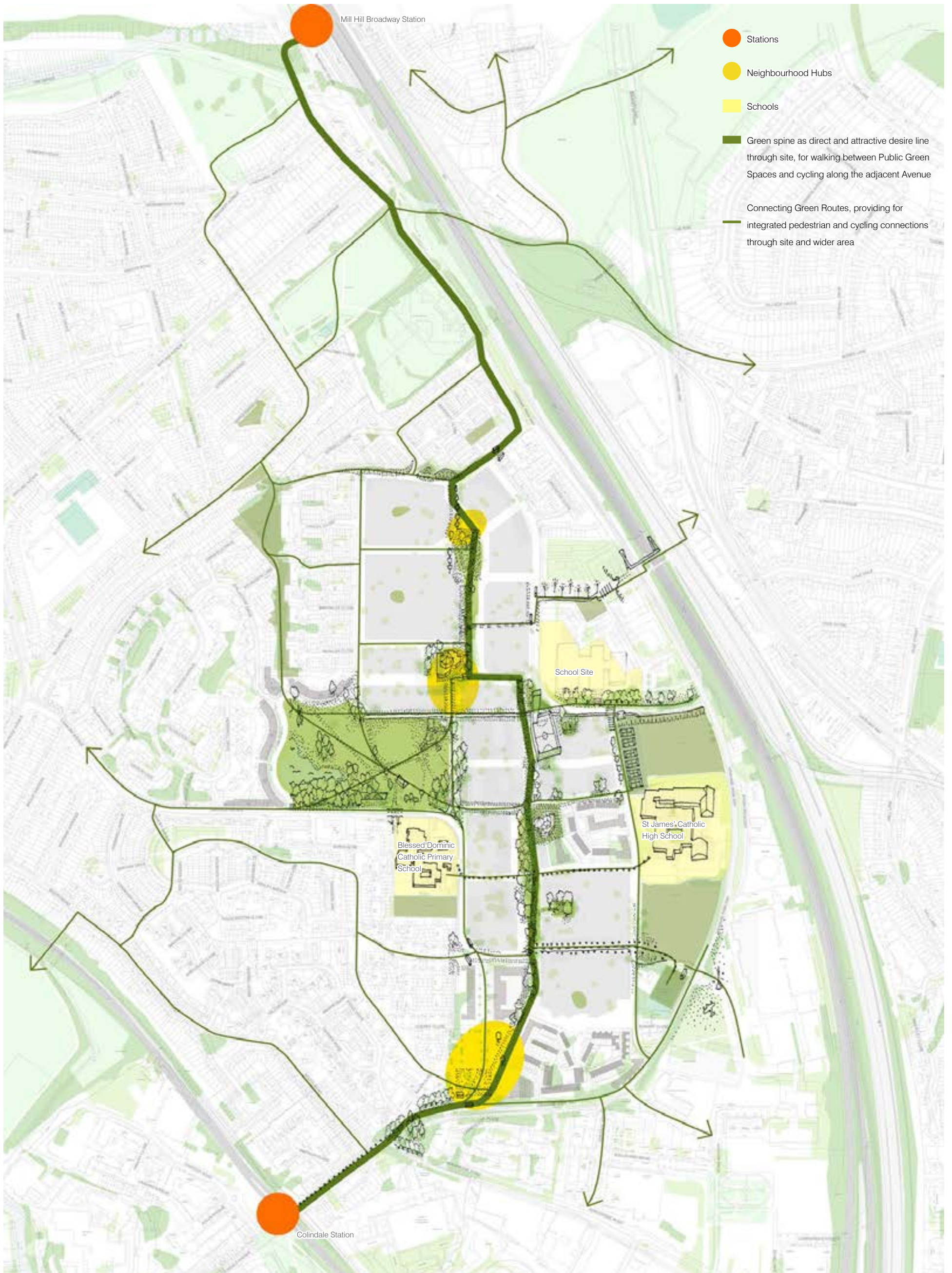


Figure 4.1 Site-wide Open Spaces Strategy

4.2

SITE-WIDE STREETScape - A BARNET CODE FOR PUBLIC REALM

Street Treatments

- i. The Council currently requires that any adopted street should be constructed in 'functional materials' and should complement the public realm materials for non-adopted streets.
- ii. Non-adopted street should develop a well considered palette of materials and public realm details. This should be adopted as Site-wide Streetscape Guidance to be implemented across all later phases of the regeneration.
- iii. The material palette draws on TFL Streetscape Guidance, Manual for Streets and other local guidance, and is intentionally simple in order for Grahame Park as a neighbourhood to merge with the wider area, as the site becomes renewed incrementally over time.
- iv. This code for public realm should be established for the streetscapes using materials in common with those used in the adjacent streets, the existing estate, and throughout Barnet. The palette should bridge differences and soften site boundaries with adjacent streets both during and after construction.

Access and the Public Realm

v. All streets and public realm will be accessible and inclusive to all, designed in accordance with relevant and current best practice guidance. The surfacing of the public realm should comply with the following:

- Surface materials should be affordable and cost effective
- Surface materials to be easily replaceable should they be damaged or need to be lifted for maintenance or utility purposes
- Surface materials must be hard wearing, and easy to clean and maintain
- All surfaces to be smooth and even, especially for those with reduced mobility, with firm and slip-resistant finishes
- Evaluation of predicted site usage to inform the selection of materials and construction techniques, e.g. Identification of vehicle loading requirements to inform paving construction depths
- Dropped kerbs or raised pedestrian tables at key crossing points
- Clear delineation between roads and footways.

Connecting Green Routes

vi. The Green Spine is the main desire line through the site, linking south to north as an attractive leisure route (see Figure 4.2). Cyclists and pedestrians are separated, with walking routes linking between public green spaces, and cycling routes following the adjacent Avenue. Other Green Routes follow primarily east/west routes between the Avenue and the Boundary streets.

vii. The overall approach aims to integrate the green strategy of open spaces and green routes with the clarity and legibility of the street hierarchy, with generous crossings and ample pavement space. This is achieved by:

- Retaining mature trees in clusters, allowing informality within the rhythm of the tree-lined street and a focus for activity and play
- Planting semi-mature trees to have instant impact
- Encouraging the planting of treepits
- Allowing increased opportunities for planting to gardens, privacy buffers, balconies and terraces as a backdrop to the street
- Integrating drainage with greenery
- Providing opportunities for vertical planting, particularly to gables and garden walls where there might be fewer openings
- Integrating planting with other pieces of street furniture
- Schemes that encourage and support residents to grow their own food
- Planting that changes with the seasons.



Brick is used widely throughout the architecture and semi-private areas in the existing estate. Judicious use of brick would help to define semi-public and private spaces (Roehampton University)



Granite setts for shared surfaces, grey blister paving, resin bound treepits, concrete pavers in public pathways and granite kerbs as edging create a normative palette to blend the estate into Colindale



The pedestrian streetscape continues at crossings indicating priority over traffic

Planting and furniture cushions the pedestrian and the road, North Finchley



The positioning of trees is not dictated by the architecture or street line so that it can remain autonomous



Clusters of mature trees allow for natural order



Long benches wrapping around mature trees

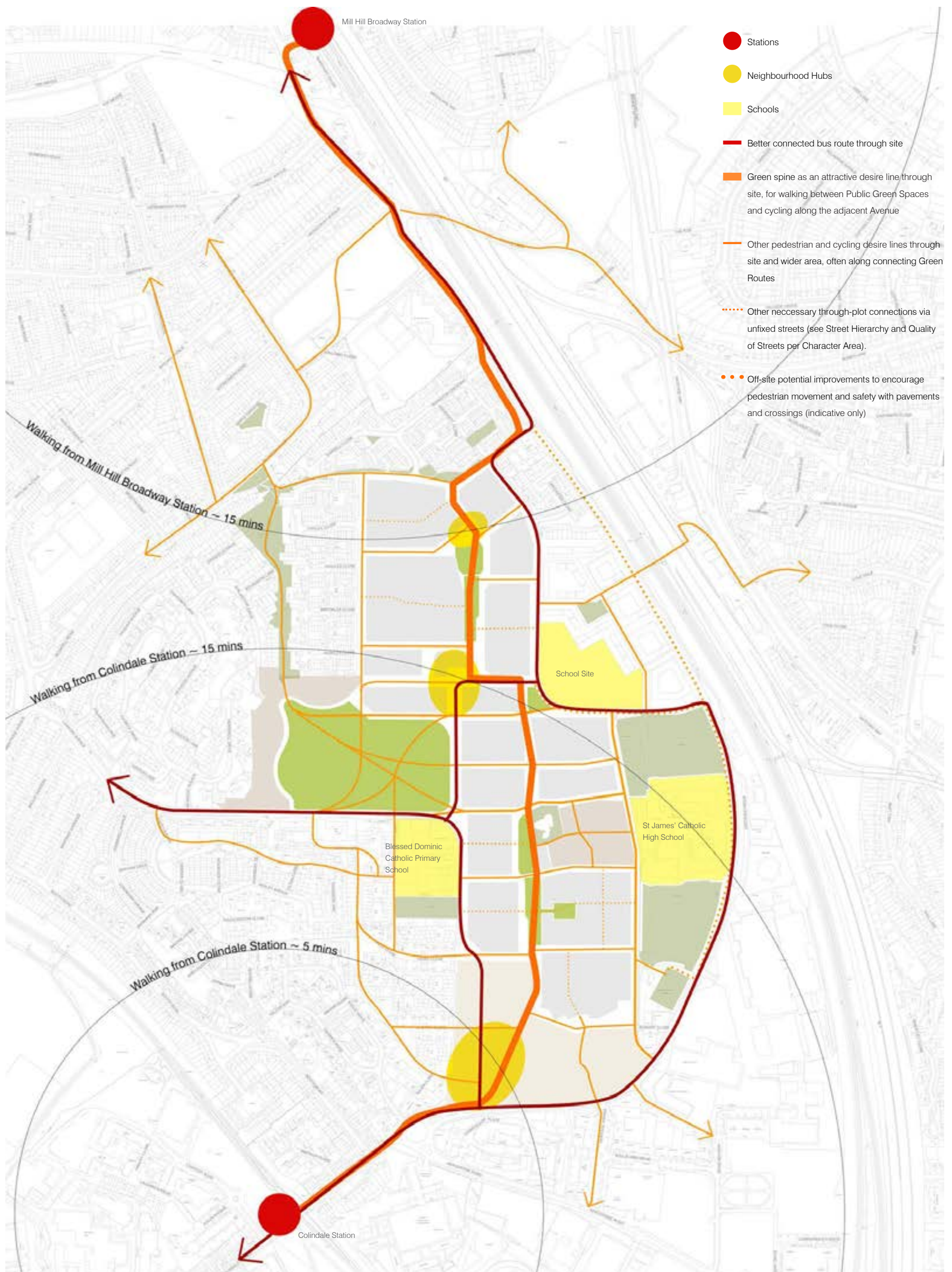


Figure 4.2 Site-wide Bus, Walking & Cycling Desire Lines

4.3 SITE-WIDE URBAN DESIGN STRATEGY

Green Spine Walk-Through

- i. The typical massing and architectural approaches are set out per plot with height and massing parameters in the Development Framework. Architectural character is defined in the Design Guidelines, with the aim to ensuring high quality, refined elevational treatments with minimal, robust material palettes. As accents from this 'background', important feature buildings have been picked out, as key frontages and prominent corners, focused around the enhanced green assets.
- ii. Key Frontages frame the Green Spine and the neighbourhood park, encouraging a more animated facade approach to overlook the spaces and provide a lively, variegated backdrop.
- iii. At strategic points, prominent corners create legibility and identity throughout the large site, as way-finding features and landmarks within the three Character Areas. These are set out on street corners to enhance long view lines and routes through the scheme, encouraging variety, contrast and the option of additional height with their architectural treatment.
- iv. The images on the opposite page present an indication of these 'foreground' elements with their relationship to the Green Spine and the bus route, leading towards the central hub, then the journey north towards the Northern hub.



- Neighbourhood Hubs
- Schools
- Green spine as direct and attractive walking and cycling desire line through site
- Prominent Corners
- Key Frontages

Figure 4.3 Route via Prominent Corners on the Green Spine



View A - Routes from the new Stage A Southern Hub lead towards Lanacre Avenue via the Bus Route, or the Green Spine as part of the wider green network for pedestrians and cyclists



View B1 - The Bus Route passes along the western of the site, with new mansion blocks fronting onto the school route, leading towards the Neighbourhood Park and High Street beyond



View C1 - Mature trees are located on the junction into the scheme, leading north beside the Neighbourhood Park towards the Central Hub, with feature buildings signifying key moments



View D1 - Arrival at the High Street adjacent to the Neighbourhood Park is signified with a cluster of Prominent Corners, and leading views through to St Augustines' site and the northern Green Spine



View B2 - The Southern Woodland Walk is fronted onto by a number of Prominent Corners as gables and high points, moving northwards between the mature trees



View C2 - The top of the Southern Woodland Walk is terminated with a Prominent Corner opposite the existing Catholic Church, with other high points visible in the distance



View D2 - A new chimney marks the redevelopment of the Energy Centre to include Community Uses (see Section 4.9) adjacent to the Avenue and Corner Mead Landscape



View E2 - Turning the corner onto the bus route, the planted Green Spine leads towards the Central Hub, with the redevelopment of St Augustine's Church and the high point landmark of a spire



View F - Reorientating northwards on the Green Spine alongside St Augustine's Church, the Northern Woodland Walk leads to the Village Green beyond



View G - The Village Green is a destination, with various Prominent Corners framing the space and the Local Hub in the north, with the route extending through to existing neighbourhoods beyond

4.4 SITE-WIDE HOUSING PRINCIPLES

Housing Design Principles

i. Where we live matters and we believe that good design can help foster social cohesion, reduce crime and improve health and wellbeing. The aim is to focus on how to reduce social exclusion and deal with issues of privacy and security through good design. We can do this by combining the following principles to help deliver a secure environment:

- Creating well defined streets lined by the fronts of houses and apartments with regular front doors and habitable rooms overlooking the street
- Avoiding the current scenario of backs of buildings fronting onto public realm where possible
- Creating continuous frontages with buildings enclosing private amenity space
- Having houses and flats enclosing private secure residents gardens giving a hierarchy to open space
- Ensuring that streets are designed to be family-friendly, less car dominated, prioritising pedestrians and cyclists, legible, accessible and add to good placemaking
- Designing flexible and adaptable family housing which is future-proofed
- Provide good quality housing that is durable, sustainable and flexible for the future and longevity of Grahame Park
- Achieve current space standards no matter the tenure mix
- Aspire to good design, build quality and energy performance, reducing fuel poverty and creating adaptable homes for individuals and families of varying sizes and needs.

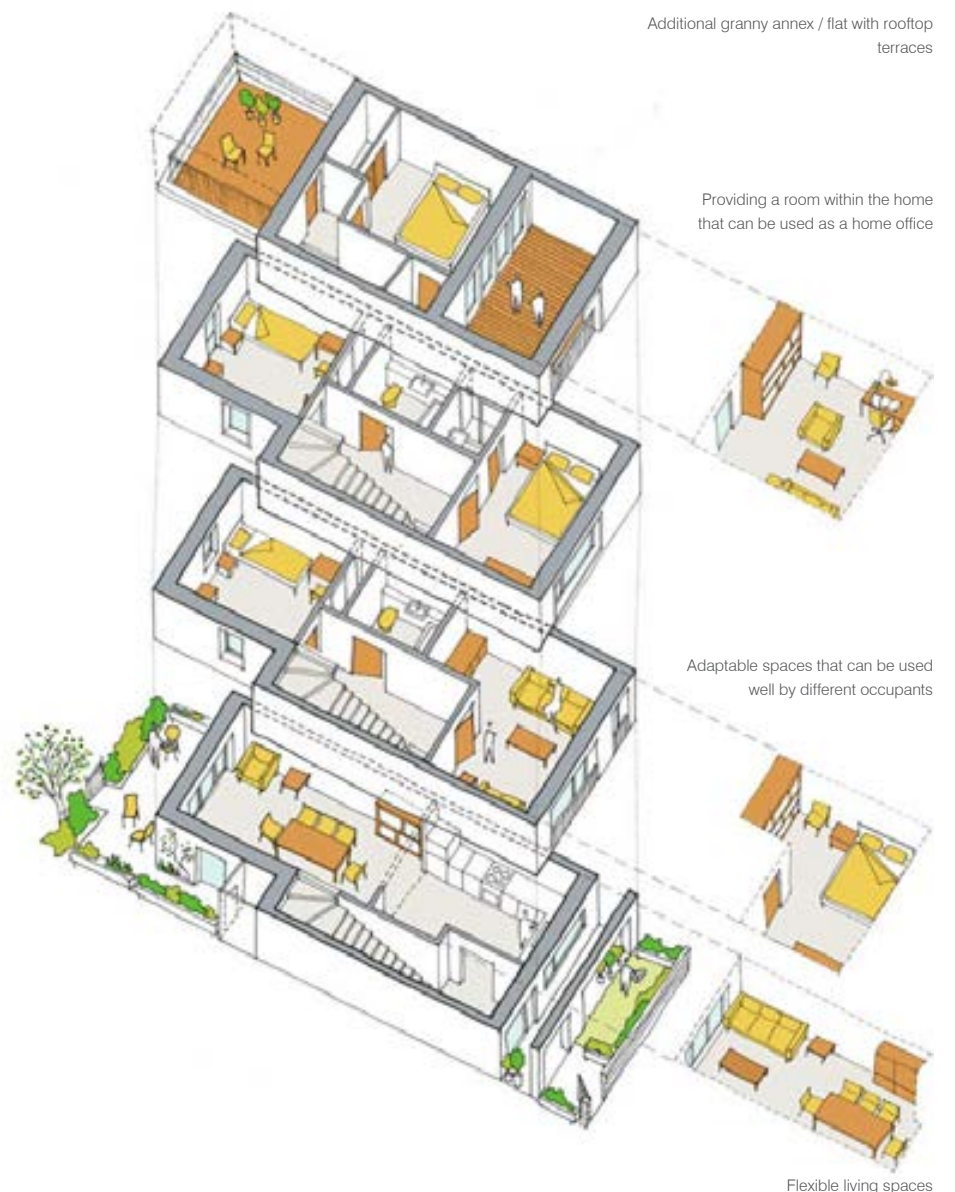


Figure 4.4
Providing flexible family homes of varying size and tenure

Direct Views onto the Street

ii. Creating a secure and well defined street edge that promotes social cohesion and reduces crime.



Secure entrances and active streetscapes

Safe Play Spaces

iii. Having shared public spaces with areas to play whilst allowing supervision from overlooking apartments.



Safe, overlooked play spaces

Light and Ventilation

iv. Ensuring that all accommodation is flexible, light filled and well ventilated, with access to open space.



A view from the kitchen

Access to External Space

v. Incorporate private external amenity space such as balconies or rear gardens as well as some shared gardens and positive street outlook, views and daylighting.



Good sized balconies

A Sensitive Approach to Phasing and Infill

vi. Where infill development is to be proposed careful consideration should be given to how proposals tie in with the surrounding new comprehensive development as well surrounding existing buildings. Notwithstanding the design approach within this document which defines the character of each neighbourhoods, any infill proposals will need to consider the following as key principles:

- All development should be considerate in regards to scale, height, massing, materiality and composition of adjacent buildings particularly for proposals that abut existing properties. For reference, some examples of house types that exist within the estate are presented below
- The layout of existing homes is based on a Radburn layout which often results in inconsistent block arrangements and ambiguity of the public realm. Proposals should improve existing layouts and aim to introduce a consistency with block arrangements that clearly define street frontages and entrances to homes, and in turn create secure rear private gardens that do not front onto the public realm. Please refer also to the 'Quality of Architecture' section for each Character Area
- Clearly defined boundaries and edges around public green space, pathways, defensible areas and play areas with appropriate treatment that is defined in this Design Guidelines section. See also the 'Quality of Open Space, Public Realm and Play' sections for each Character Area
- Streets that are retained or newly proposed should be clearly defined as per the details in the 'Quality of Streets' Character Area sections, and lit well as per detail specified in this Design Guide. Public realm treatment if not newly proposed should be upgraded in accordance with the materials and design of each Character Area.



Grahame Park Phase 1B, meeting new development with old



Grahame Park Phase 1B, new infill development defining the southern edge of the site

Compact Mews Houses

vii. Small scale terraced houses, with simple prevalence of one material up to 1.5 storeys, with quirky roof protrusions and bays. These units have minimal if no privacy buffer to what is commonly an uneven brick paved, badly lit and unplanted public realm.



Compact dwellings with interesting rooflights

Three Storey Town Houses

viii. Taller family units incorporate elements such as protruding bays, winter gardens and balconies to maximise views and amenity space, often on the rear of the properties.



Existing 3 storey townhouse type on site, with 'winter garden' at the rear

Mid-height Apartment Blocks

ix. Inward looking flat blocks with balconies, commonly located around a shared but ill-used area of green space. In most cases, connections between the units and the green space is poor or non-existent, and separated from the public realm by railings.



Existing balconies facing the green concourse have been personalised with colour

4.5 SITE-WIDE SUSTAINABILITY & ENVIRONMENTAL AIMS

Environmental Principles - One Planet Living

- i. The following section sets out the critical aspects of the sustainability and environmental strategy that deliver clear, intuitive and achievable principles for a healthy and sustainable environment across the estate.
- ii. The over-arching approach is based on the One Planet Living structure developed by Bioregional during their involvement with Bedzed eco-village in South London as a way to structure ecological and carbon footprinting.
- iii. The following principles outline the sustainability and environmental aims for the Grahame Park area:

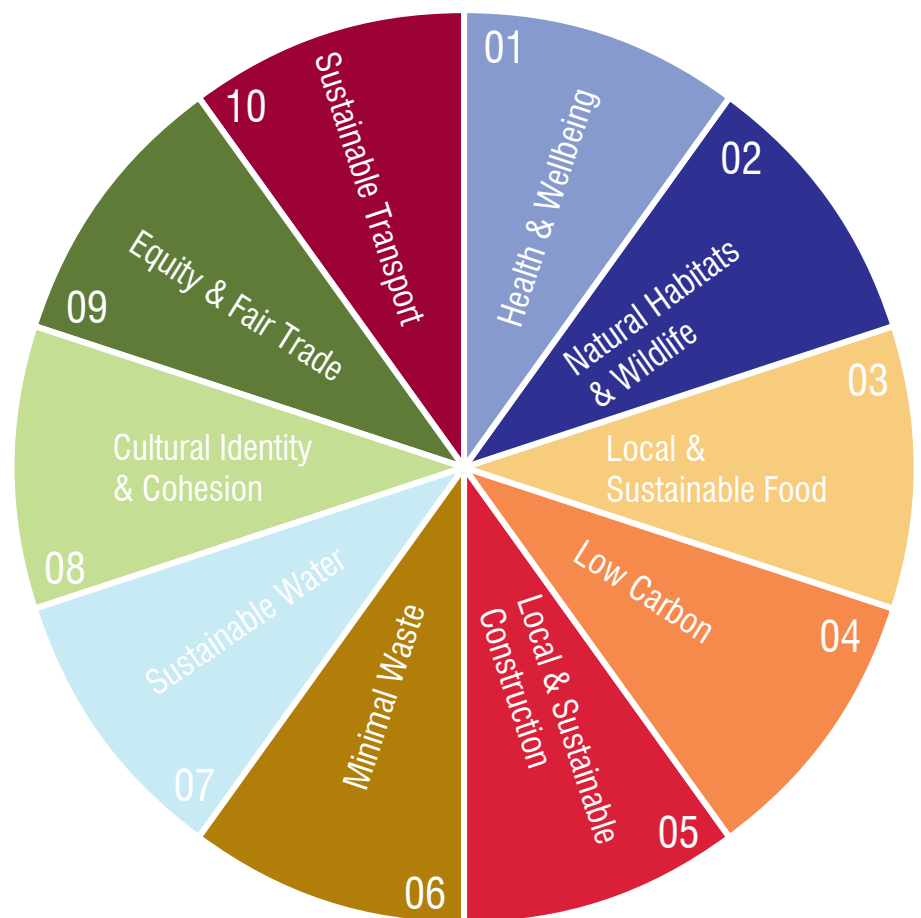


Figure 4.3 - The 10 Principles of Sustainability

01. Health and Wellbeing

- iv. Promote healthy lifestyles, opportunities for exercise and leisure and encourage community engagement.
- Park City – Each block to contain an element of formal or informal green play space
- Biophilia - Green space and trees should be clearly visible from every dwelling
- Daylighting – Good levels of interior daylight to be targeted, and BRE guidance to be exceeded where possible.

02. Natural Habitats and Wildlife

- v. Support biodiversity of native planting and the nurturing of birds, mammals and insects.
- Green corridor – Parks, open spaces and hedging to link together through the site to form a green corridor
- Diverse habitats – Provide diversity in landscape treatments and a variety of green and brown roofs, as well as wildlife boxes
- Ecology – A site wide ecology report to be produced for the Grahame Park area and recommendations followed in the individual developments.

03. Local and Sustainable Food

- vi. Identify opportunities for local organic food production and Slow Food lifestyles.
- Growing - Food growing planters to be included within the proposals where possible based on the needs of the residents
- Meanwhile uses – Where sites are to be left empty for a period of years, these should be used as food growing area where possible.

04. Low Carbon

- vii. Reduce energy demands and generate on-site power from low-carbon and renewable sources.
- Passive Solar Design – Buildings to be situated to maximise solar gain in winter without causing overheating
- Materials – Carbon negative materials or low embodied energy materials to be used wherever possible
- Carbon Reduction – Achieve a carbon reduction in line with the London Plan Passive Solar Design.

05. Local and Sustainable Construction

viii. Develop 'long-life, loose fit' buildings with low embodied energy materials and high performance.

- Fabric First – Prioritise saving energy through well insulated, robust buildings that will perform as designed, with a maximum heating demand of 43kWh/m²/yr (equivalent to Level 4, Code for Sustainable Homes) for any homes within the scheme
- Embodied energy – The external envelope should achieve a Green Guide rating of A+.

09. Equity and Fair Trade

xii. Provide the right conditions for business, committed to fair trade and inclusivity, both big and small, to thrive and prosper.

- The scheme should include homes which have designated rooms within the home as home offices.

06. Minimal Waste

ix. Minimise the production and transportation of waste and encourage recycling and composting.

- Site Waste – Site Waste Management Plan to be implemented, in order to monitor, reduce, sort and divert from landfill site construction and demolition waste, such that 85% of non-hazardous waste is diverted from landfill
- Site Activities - Commitment to monitor, report and set targets for CO₂ production and energy use arising from site activities
- Consideration – The site to be registered with the considerate contractors scheme, and will score a minimum score of 35, scoring at least 7 in each section.

10. Sustainable Transport

xiii. Promote access for all with well connected places and the provision for alternative forms of transport.

- Pedestrian Routes - Promote clear pedestrian routes that are easy to navigate and reduce the necessity of vehicle transport
- Cycle Routes - Integration on all streets with cycle parking in public open spaces and neighbourhood hubs
- Bus Routes - Expected to be the 303 bus, providing a connection through the site along primary routes via the central neighbourhood hub
- Provision for Car Club bays should opportunities arise.

07. Sustainable Water

x. Reduce water demand and promote the sustainable management and reuse of water.

- Water Consumption – Achieve an internal water consumption of no greater than 105 litres per person per day
- Sustainable Urban drainage systems and permeable landscape treatments to act as soakaways for surface water
- Runoff – Post development volume of runoff calculations include an allowance for climate change in accordance with current best practice (PS25, 2006).

08. Cultural Identity and Cohesion

xi. Preserve and enhance buildings of cultural value and recognise and maximise the cultural diversity of the place and it's people.

- Make links to cultural or social buildings nearby the site.



'National Park City' Battersea Park Pond, M.Sobreira / Alamy



Agar Grove, UK's Largest Passivhaus Scheme, Camden, Mæ



Supporting biodiversity. London Wetland Centre, Dan Kitwood / Getty Images



Sustainable transport through well connected places. Copenhagen, Denmark

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4.6 SOUTHERN CHARACTER AREA

4.6.1 QUALITY OF OPEN SPACE, PUBLIC REALM & PLAY

This section describes the qualitative elements of the Southern Character Area regarding public green space and the public realm. The Open Space Strategy commences with the retention and amplification of all existing landscapes of value. The north-south Green Spine is a case in point.

The Woodland Walk is the central green space in the Southern Area, connecting the new southern hub, a short walk from Colindale station, to the central Community Hub and Northern Area. The area is also supported by the Wooded Park and new Pocket Park, providing local play around existing tree clusters.



Figure 4.6.1 - Combined Parameter Plan for Character Area Open Spaces, Play and Tree Strategy

Key (Refer to Sections 3.3 and 3.4 of the Development Framework)

- FIXED open spaces - Enhanced existing green assets
- UNFIXED open spaces - New pocket parks
- S Open space reference
- Green Spine - north-south continuous green route
- Connecting Green routes - east-west links
- Indicative locations for play
- Existing trees on fixed open spaces & the Green Spine
- Existing trees on-plot & on-street
- Rear gardens - predominantly podiums & rear courts
- Rear gardens - mix of podiums, rear courts & rear gardens
- Rear gardens - predominantly private rear gardens



Collage of the Woodland Walk demonstrating principles that enhance the existing character

**S1. Southern Woodland Walk
(Fixed Open Space and Green Spine)**

The spacious Woodland Walk with its undulated landscape and mature trees should enhance the existing green asset, with improved connectivity, permeability, amenity value and visual relation to the neighbouring streets. The entire area will feel more open and public, with the Avenue weaving alongside and other local streets connecting through, allowing views through and more sunlight to brighten the space. With the inclusion of playful and playable interventions and visible links to local amenities, churches and schools, this stretch will be a valued dynamic green public space, well used with a natural sense of control and safety.

The illustration above presents some of the main space-shaping features:

- A. Retention of mature healthy trees as the focus for an English semi-mature woodland and the backdrop for outdoor activities and as the setting for the homes facing onto the woodland walk.
- B. Provision of opportunities for play, relaxation and wildlife by enhancing what already exists along the route and integration of incidental play features.
- C. Planting to increase biodiversity in response to ecology survey. Planting support the creation and sustenance of an ecological corridor by including areas for wildlife enhancement.
- D. An uninterrupted pathway that will continue along the Green Spine, linking northwards to the Central and Northern Character Areas.
- E. The adoption of the Site-wide Streetscape Guidance (to be developed and established during the first phase).
- F. Front doors and entrance halls should face and animate the Woodland Walk with the opportunity to include front gardens and planting buffers to Prominent Frontages and gables.
- G. Minimise low shrubs, as they can enhance a sense of seclusion and could obscure frontages. Wildflower planting is preferable to retain openness and prominence of mature trees.



Existing church and open space



Existing route, Grahame Park
Enhancing existing green assets

DESIGN GUIDELINES - SOUTHERN CHARACTER AREA

S1. Southern Woodland Walk (Fixed Open Space and Green Spine)

This existing route will form the primary green character for the public realm and open spaces in the Southern Character Area. In enhancing this, it is enriched and intensified through the addition of play, planting, and furniture to allow for a generous route with multiple uses.



Existing route, Grahame Park
Enhancing existing green assets



Colebrooke Row, Angel



Use of natural play areas including boulders, fallen trees and logs, and planting to hide in.
New River Walk, Astley's Row, Islington

S2. Wooded Park (Fixed Open Space)

The existing area of green with mature trees is adjacent to the Southern Woodland Walk and as such should be seen as a widening of this route. The cluster of mature trees should form a background to play, with elements such as swings and climbing structures set within the trees, natural elements such as fallen logs and boulders provide enriched opportunities for seating, planting, wildlife habitats as well as play, allowing several activities and user groups to overlap within a safe, overlooked, local green space.



Small, existing, shared green spaces with mature trees to be used for play



Play spaces formed within existing mature trees and planting



Closely overlooked by adjacent dwellings, with new landscaping as part of a defined green space.
Schiller Park Settlement, Berlin

S3. Pocket Park (Unfixed Open Space)

The pocket park located within the Southern Area should reflect the principles of the Woodland Walk to be read as an extension to this. Where located, mature trees should be retained, or semi-mature trees should be installed for immediate impact to support natural play.

The park will be in close proximity to the RAF Museum and should reflect the site as a place of innovation, adding a much desired sense of place and identity within the residential area. This could also encourage an improved pedestrian connection and visual references to the museum.



Swings/play with a sense of flight and experimental play



RAF museum adjacent to the south of the estate, representing an important part of the history of the site as a place of innovation



Tree forming a play space, Camden

Public Realm Details

General principles in relation to the Southern Character Area as a whole:

Play

Provision of opportunities for play should draw on and enhance the existing natural character of the woodland. The use of mature trees and planting as both backdrop and integrated elements for play. The history of the aerodrome should be reflected in the play experience, for example the “flight” of a swing, or opportunities for exploration and testing as a method of “innovation”.



Lighting

Lighting needs to support a safe and open environment with low level lighting along edges and paths. Building-mounted lighting should avoid windows. Up lighting can mark trees as features, respecting tree canopies, leave cover and create a distinct character and atmosphere. Simple, consistent integrated street lighting as part of public realm and street design should be detailed as part of individual planning applications.



Planting

Existing mature trees as focus for an English semi-mature woodland, planting to increase biodiversity and provide opportunities for natural habitats. Planting should express the seasons as well as support existing and potential wildlife. Planting should be allowed to grow and be less maintained as opposed to formal manicured gardening.

Furniture

Furniture should respond to the woodland setting by acknowledging and working with the existing trees as longstanding features of the site. Furniture should be naturally integrated as an extension of the planting and woodland environment. Existing features could be relocated and integrated with logs and planting to create habitats for insects and wildlife encourage learning and play for young children, and provide seating as features within a wild natural landscape.

4.6.2 QUALITY OF STREETS

This section describes the qualitative elements of the southern character area regarding streets and their associated parameters. Set out as a series of Fixed streets, this area is driven primarily by the character of the Avenue as it weaves through the centre of the site alongside the Woodland Walk, which is linked by the Lanes to the periphery streets of Lanacre Avenue and Great Strand, and the wider street network.

Plots may then be divided by Unfixed Residential Streets (Type A and B), which allow for safe, pedestrian-priority streets that integrate parking and play for greater permeability and accessibility.

All road layouts are illustrative and are subject to traffic modelling, to be used to support future planning applications.



Figure 4.6.2 - Combined Parameter Plan for Character Area Street and Parking Strategy

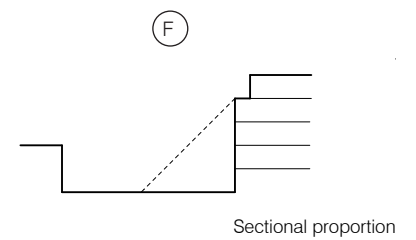
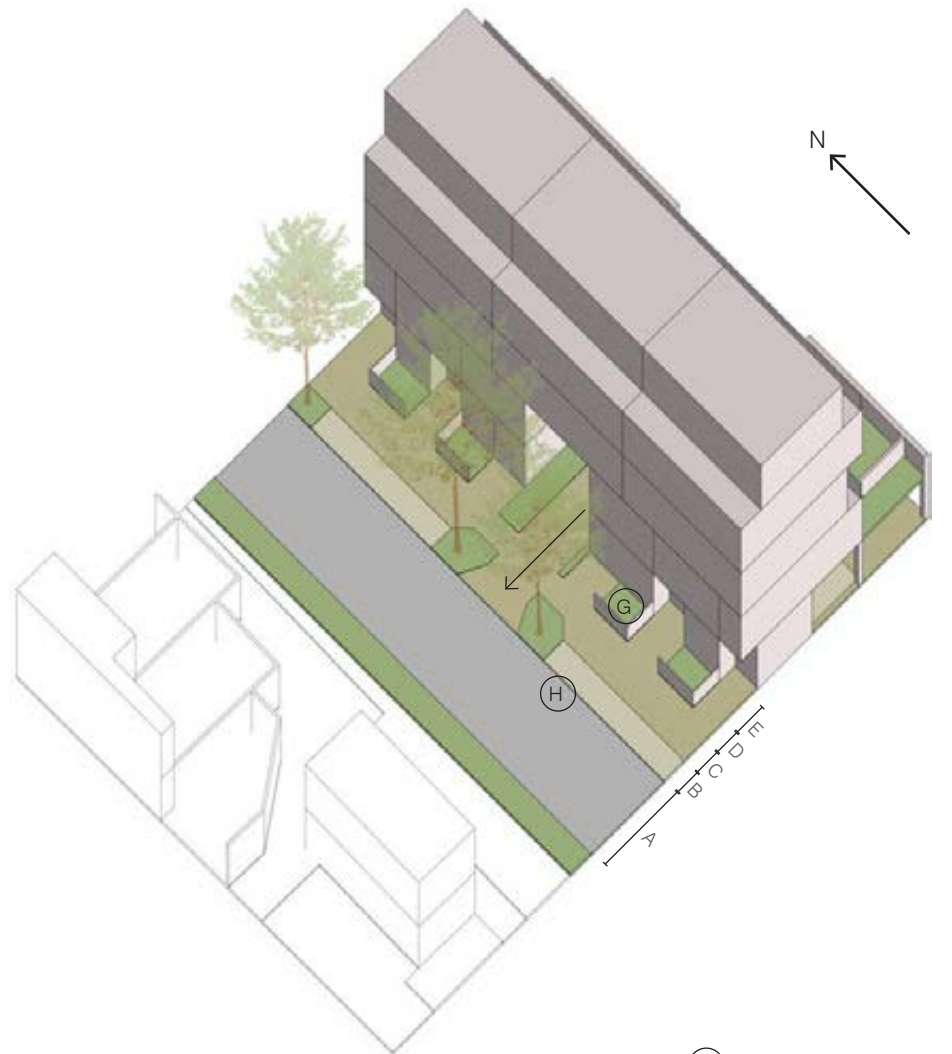
Key (Refer to Sections 3.5 & 3.6 of the Development Framework)

- | | | | |
|--|--|--|---|
| | FIXED Primary Routes | | Bay parking along green edges |
| | FIXED Secondary Routes / Avenues | | Bay parking along boundaries |
| | FIXED Tertiary Routes / The Lanes | | Parking as per FIXED Residential streets Type A or B |
| | FIXED Residential streets Type A or B | | On-plot parking condition - predominately podiums & rear courts |
| | UNFIXED Residential streets Type A or B | | On-plot parking condition - predominately rear courts & private rear gardens |
| | Parking as per UNFIXED Residential streets Type A or B | | On-plot parking condition - Minimal On-Plot parking. Predominantly private rear gardens |
| | On street parking | | |

Primary Routes / Boundaries and Bus Route

Lanacre Avenue is an established route on the boundary of the site, linking the new southern development to the wider area with good bus connections. The plots front onto the route with continuous linear development blocks sensitively set back with parking and grassy planted verge to encourage pedestrian activity with the existing buildings and local streets. From within plots, residential streets can pass beneath building line, with one way pinchpoints to the primary route.

PARAMETER	DESCRIPTION	Maximum
A	Carriageway Two way with allowance for buses and cycling integration	7.3m width
B	Parking On street parking as laybys, with trees between spaces.	2.2m width
C	Planting New trees on planted areas between parking laybys	2m width
D	Pavement Between parking and front garden, width appropriate for adjacency to schools	3.1m width
E	Front Gardens Enclosed front gardens & integrated bin stores	2m width
F	Proportion At least 1:1.5 (frontage height : frontage separation) Top storey to be set back, additional to 'frontage height'	1:1.5
G	Refuse Refuse storage in front gardens, collected directly from street	
H	Road surfaces Mixed material palette for each use, road defined by kerbs Refer to Section 4.2 for approach to surface materials	

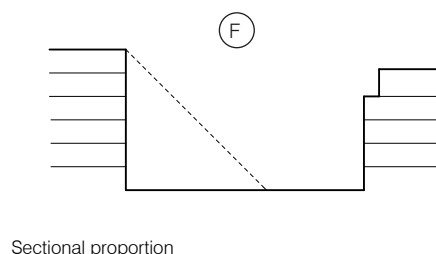


Bus route with tall formal frontage
Cambridge

Secondary Routes / Boundaries and the Avenue

Longitudinal streets orientated north/south with regular trees and integrated parking. The Avenue (section shown) weaves centrally through the site along the Green Spine with mature trees and slow speeds, adjacent to the Woodland Walk

PARAMETER	DESCRIPTION	Maximum
A	Carriageway Two-way route primarily north/south with integration of cyclists with slow-moving traffic	5.5m width
B	Parking Double sided (B1), with some Green Edge bay parking, running along no more than half the green edge length (B2). Bay parking should integrate 1m buffers front and back to protect carriageways, green spaces and pavements	2.2m width 7m depth
C	Planting Trees located in line with parking and space allowed for retention of mature trees. Refer to section 4.5.1 for guidance on open space and planting.	
D	Pavement Between parking/planting strip and front gardens	2m width
E	Front Gardens Enclosed front gardens & integrated bin stores	2m width
F	Proportion Never less than 1:1.5 (frontage height : frontage separation)	1:1.5 ratio
G	Refuse Refuse storage in front gardens or next to parking entrances, collected directly from street	
H	Road surfaces Mixed material palette for each use, road defined by kerbs. Refer to Section 4.2 for approach to surface materials	

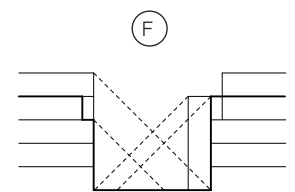
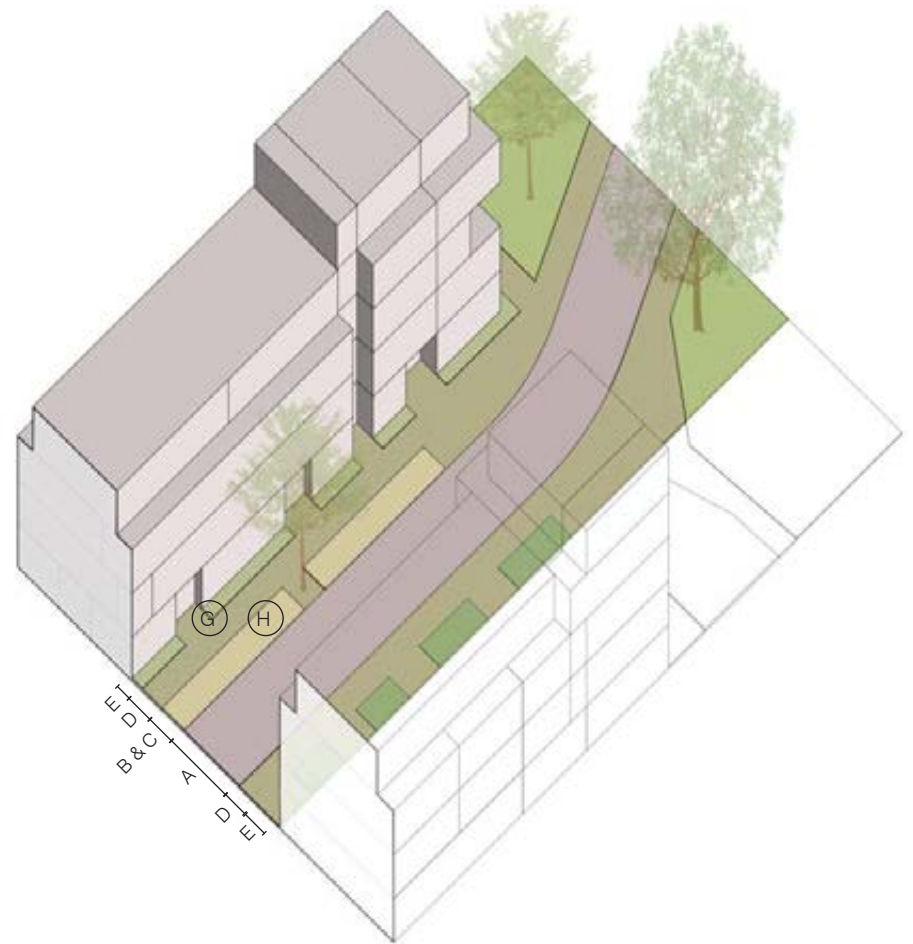


Formal tree lined route with parallel parking and tall repetitive frontages. Maida Vale, London

Tertiary Routes / the Lanes

Winding roads that span across the site east/west in response to site context and proposed conditions, providing better permeability and connectivity through the site by linking the boundary routes to the central avenue and green spine.

PARAMETER	DESCRIPTION	Maximum	
A	Carriageway	Two way winding informal lanes, linking east/west	5.5m width
B	Parking	On street parking, either double sided or single sided	2.2m width
C	Planting	Clusters of new trees at parking & green spine, informally spaced. Where street is on a green spine refer also to section 4.5.1 for guidance on planting.	
D	Pavement	Adjacent to front gardens & linking to pedestrian/cycle green routes on spine	2m width
E	Front Gardens	Mix of informal planting buffers & front gardens	1 - 1.5m width
F	Proportion	Varying along route from approx 1:1.5 to (frontage height : frontage separation). Top storey to be set back, additional to 'frontage height'.	1:1.5 ratio
G	Refuse	Incorporated into entrances, to be collected directly from street	
H	Road surfaces	Mixed material palette for each use, road defined by kerbs. Refer to Section 4.2 for approach to surface materials.	



Sectional proportion

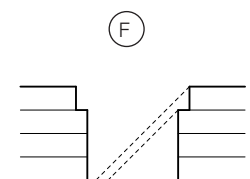
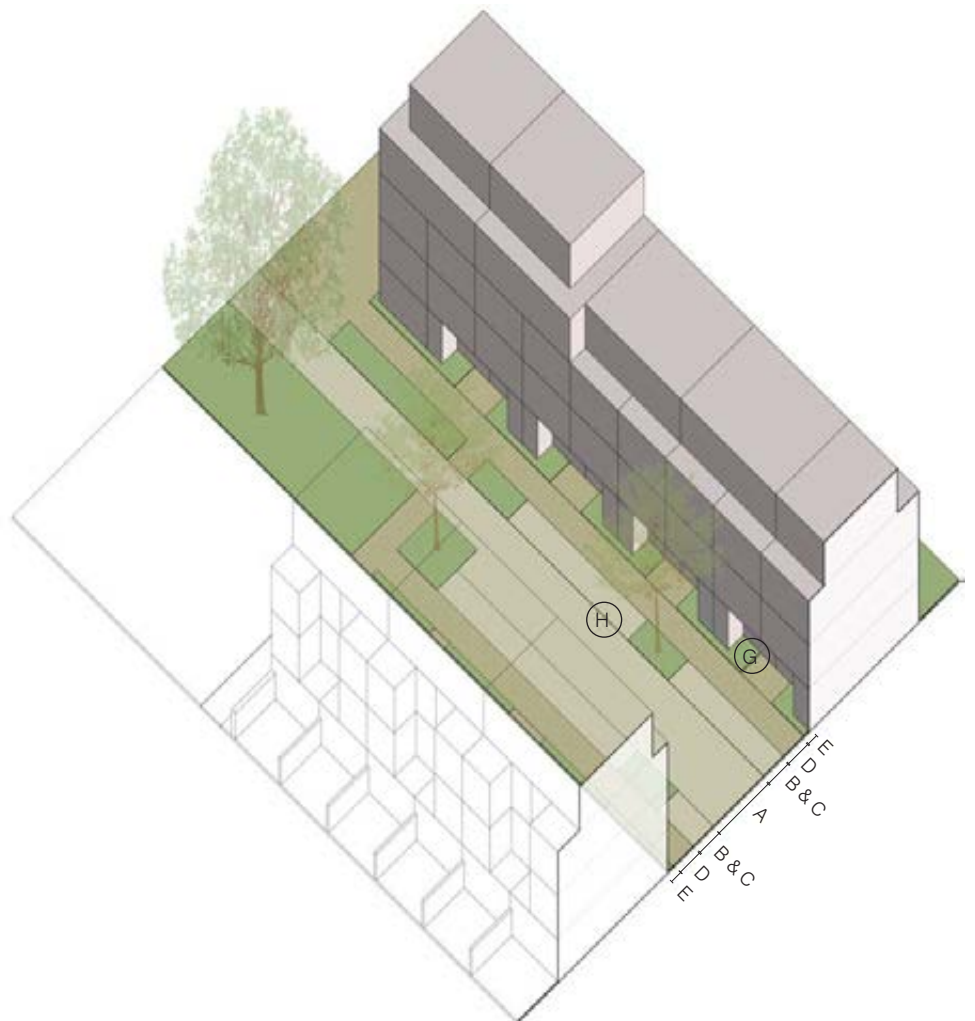


Informal winding lane with varying heights and widths, and a mix of frontages, Burgh Street, London

Residential Streets Type A

Local narrow streets fronted by long terraces, giving pedestrian priority with minimal level changes, integrated planting buffers & tree pits, and on street parking.

PARAMETER	DESCRIPTION	Maximum	
A	Carriageway	Local route with slow moving traffic	4.5m width
B	Parking	On-street parking double sided	2.2m width
C	Planting	At least 4 trees spaced within the street, between parking spaces. Where street is on a green spine refer also to section 4.5.1 for guidance on planting.	
D	Pavement	Between privacy buffer & parking	2m width
E	Front Gardens	Privacy buffer with low level planting	1 - 1.5m width
F	Proportion	Consistent at approx 1:1.5 (frontage height : frontage separation). Top storey can be set back, to be additional to 'frontage height'.	1:1.5 ratio
G	Refuse	Incorporated into entrances, to be collected directly from street	
H	Road surfaces	Limited material palette for each use, flush together with no kerbs. Refer to Section 4.2 for approach to surface materials.	



Sectional proportion

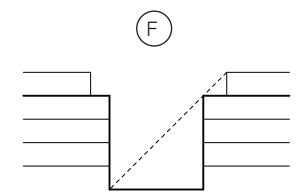
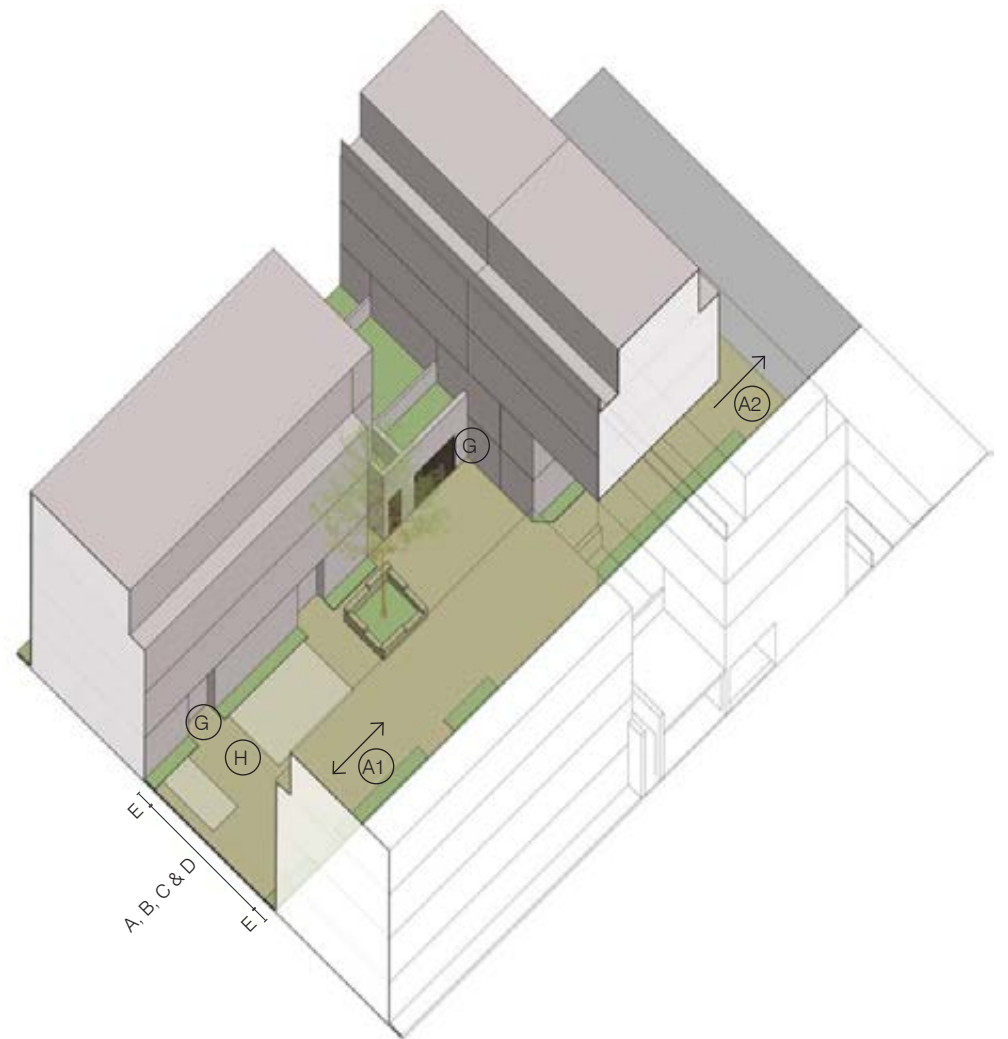


Informal local street, with trees and buildings close to back of pavement. Schiller Park Settlement, Berlin.

Residential Streets Type B

Located on key pedestrian routes and green connections, as an informal multi-use shared space, proportionally short and wide, and directly overlooked.

PARAMETER	DESCRIPTION	Minimum	
A	Carriageway	Wide, shared court for key pedestrian connections, with vehicular dual access focused at one end (A1), and one-way exit at the other, towards the periphery streets (A2).	12m width
B	Parking	Bay parking defined within space	
C	Planting	Provide defined area for at least 1 tree, planting, seating and small scale integrated play within shared space. Where street is on a green spine refer also to section 4.5.1 for guidance on planting.	
D	Pavement	Integrated to give priority to pedestrian activity & routes	
E	Front Gardens	Minimal privacy buffer defined by planting or surface change for plant pots, seating etc local to dwelling etc.	0.5 - 1m width
F	Proportion	Consistent at approx 1:1 (frontage height : frontage separation). Top storey can be set back, to be additional to 'frontage height'.	1:1 ratio
G	Refuse	Incorporated into dwelling entrances and parking entrances. Refuse vehicle to follow through-route in direction of access	
H	Road surfaces	Primarily one material for shared surface, no kerbs or other level change. Refer to Section 4.2 for approach to surface materials.	



Sectional proportion



Integrated parking, planting and cycle pedestrian through routes in wide, overlooked shared space, Vauban, Freiburg

Public Realm Details

The treatment for more detailed street design elements, such as thresholds, shared surfaces or parking are set out below. The approaches set out here are considered appropriate and encouraged for this Character Area. All detailed designs for streets and public realm should refer to local and best practice guidance such as Manual for Streets, Manual for Streets 2 and TFL guidance, such as London Cycling Design Standards.

Ensuring permeability

Two storey, covered, level threshold from residential road to primary route, which provides a continuous building line, enables pedestrian and cycle permeability, and potential for one way vehicle access. Ensures visual connections through blocks from boundary streets to green spaces within.



Double storey pedestrian opening, Leidsche Rijn

Multi-use public realm

Multi-use shared spaces with planting and seating, allowing continuation of walking and cycling routes between green spine and boundary streets.



Wide shared active surface leading to green spine, Cambridge

Pinch point junctions

Narrowing junctions between residential streets and higher level streets to slow traffic and incorporate planting, seating and other street furniture.



Pinchpoint with access from minor road to more major road, with integrated trees, Leyton

Green Edge Parking

Bay parking is limited to half the length of green edge, to ensure the visual and accessible quality of the green space prevails with allowance for mature trees. This parking should be integrated with the green space on a shared surface, not part of the road material.



Green edge parking, Queens Park, Bristol

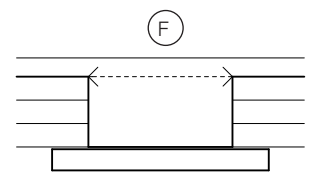
4.6.3 QUALITY OF REAR COURTS & GARDENS

This section describes the qualitative elements of the southern character area regarding rear courts and gardens, and their associated parameters. These rear spaces are key for off-street parking provision, refuse and bicycle storage and both private and communal amenity space.

Podium Parking and Shared Garden

Within a development block, the upper garden relates to the street on one side with parking beneath, the tallest frontage overlooking public space.

PARAMETER	DESCRIPTION	Minimum
A Location	Providing primary frontage to public open space, with access to parking and active shared garden on street side.	
B Parking	Bay parking located beneath podium and under units	
C Boundary	Continuous permeable boundary wall with planting	
D Amenity	Mix of hardscaping, planting, seating and small scale play on raised garden level, with protected lightwells down to parking. Ensure ability to access & overlook boundary wall to street.	
E Planting	Planting to protrude up to garden level and over to street edge	1 tree
F Privacy	21m between habitable room windows, unless design considerations allow.	21m
G Refuse	Refuse store located within podium adjacent to street boundary, accessed directly from street	



Sectional proportion

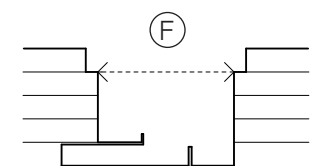
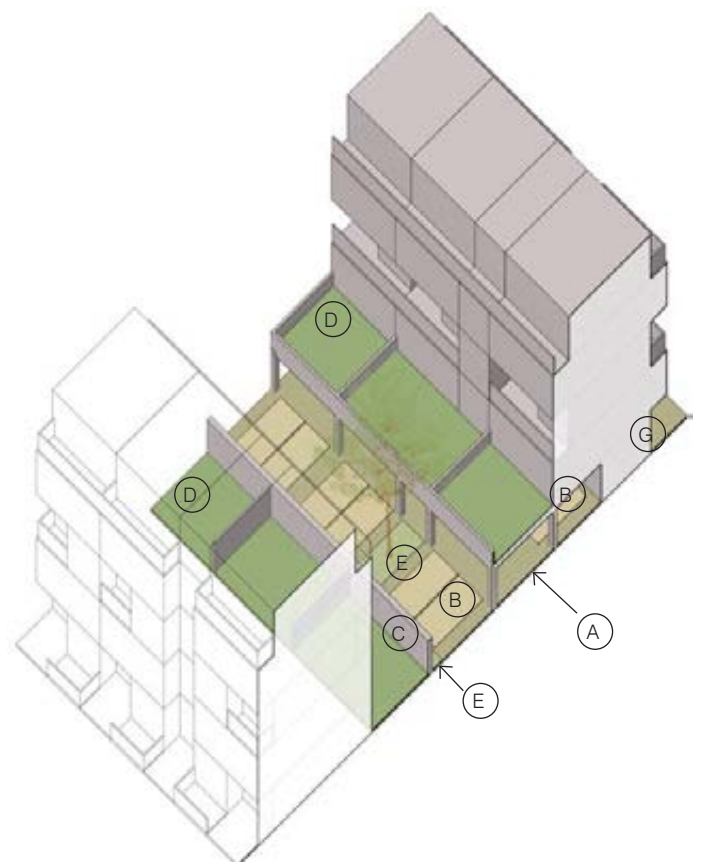


Raised gardens
Thames Barrier East Development

Rear Courts & Raised Private Gardens

Along the rear of building lines, particularly mansion block typologies, parking is provided in a rear court, partially covered by raised gardens.

PARAMETER	DESCRIPTION	Minimum
A Location	Located along rear of continuous building lines, with access through the gable ends or breaks in the building line	
B Parking	Bay parking located beneath units and opposite against adjacent garden walls where depth allows	
C Boundary	Bound by continuous building line, rear garden wall to opposite units and end walls for access.	
D Amenity	Minimum length of gardens to ensure quality amenity space whilst ensuring enough daylight to parking court beneath	5m depth
E Planting	Ensure tree planting between bay parking in rear courts to protrude above raised garden level. At least 1 tree between every 6 spaces. Planting strip along line of rear wall for maximised greenery	1 tree 1m width
F Privacy	21m between habitable room windows, unless design considerations allow.	21m
G Refuse	Refuse store located at ends of courts adjacent to street boundary, accessed directly from street.	



Sectional proportion

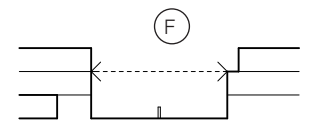
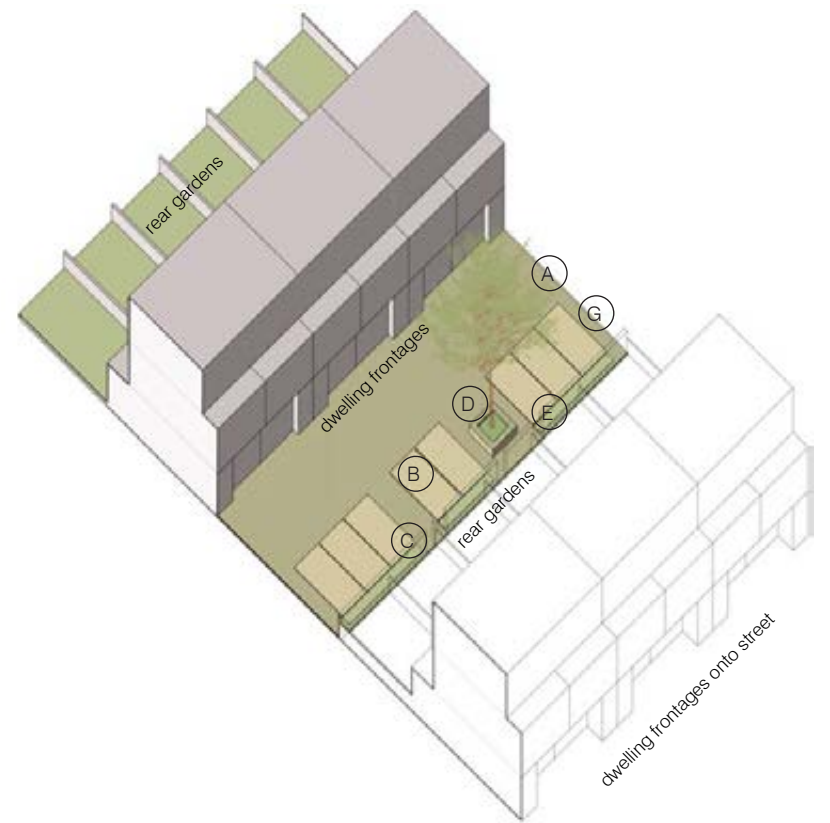


Raised garden decks above parking, with large voids and planting through, Chimney Pot Park

Front to Back Shared Courts

Where it is not possible to match dwelling frontages, such as with Mixed Retention and Renewal plots, a sensitive arrangement can be given to create a shared court, overlooked directly by one set of dwellings, but accessed by dwellings on both sides where possible. This encourages a communal approach to the space, for parking, planting and play as a shared amenity.

PARAMETER	DESCRIPTION	Minimum
A Location	Adjacent to existing buildings, where not able to match fronts to fronts, sensitive design allows fronts to face backs across a shared court.	
B Parking	Bay parking located against opposite garden walls	
C Boundary	Continuous wall, not fence, preferably low in height, with adjacent planting strip. Residents gates could be located through from rear gardens where appropriate.	
D Amenity	Mix of hardscaping, planting, seating and small scale play	
E Planting	Ensure at least 1 tree as a focus to the space, plus 1m planting buffer adjacent to rear garden wall. Allow privacy buffer adjacent to dwellings minimum 1m for plants etc	1 tree 1m buffer
F Privacy Distances	21m between habitable room windows, unless design considerations allow.	21m
G Refuse	Refuse store located adjacent to court entrance, accessed directly from street	



Sectional proportion



Frontages facing private rear gardens, with permeable boundary treatments and planting, Britz Metropolitan, Berlin

Garden Details

Boundary Wall treatments

Ensure greenness visually carries over into public realm with hanging and climbing planting from raised gardens, permeable walls into car parking, open metal gates, and portals through shared garden walls to share greenery and planting with the public realm.

Front gardens

Defined gardens should be clear with secure boundaries, sheltered entrances and opportunities for planting. Privacy buffers should incorporate planting and space for seating, pot plants etc, and inset entrances to ensure defensible space.

Bin Storage

Integrated into all private enclosed front gardens, and into communal rear courts and podiums. Accessible entrances for ease of refuse collection, but subtly integrated into the facade / boundary treatments.

Bike Storage

Integrated into communal rear courts and podiums. As a preference to cycle storage in front gardens, where ground based rear gardens are provided, private cycle storage should be incorporated and access allowed for through the dwelling.



Grove Lane, Camberwell



Defined gardens with secure boundaries
Queensbridge Quarter



Semi-concealed bin store in private gardens
Hammond Court, Waltham Forrest



Podium parking concealed behind textured metalwork,
Thames Barrier East

4.6.4 QUALITY OF ARCHITECTURE

This section aims to set the architectural qualities for the southern neighbourhood. Typical heights will be 4-5 storeys, (refer to 3.7 Building Heights and Density) with opportunity to create higher continuous blocks fronting onto main public spaces and streets to a maximum of 6 storeys.

Key Frontages will have additional elevational freedoms, and Prominent Corners and Nodes are encouraged to be contrasting in material approach as distant way-finding features and landmarks with additional height opportunities, conforming to parameters set out in Development Framework Section 3.6. Details of facade treatments are set out here.



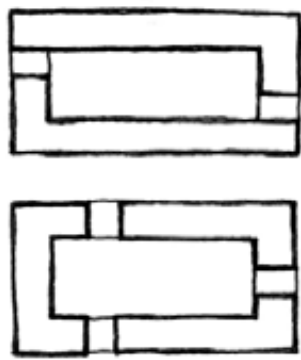
Figure 4.6.3 - Combined Parameter Plan for Character Area Heights, Density and Residential Typologies

Key (Refer to Sections 3.7 & 3.8 of the Development Framework)

- General block heights - Low (typically 3 storeys)
- General block heights - Medium (typically 4 storeys)
- General block heights - High (typically 4 to 5 storeys)
- Key frontage locations
- Prominent Corners and Nodes locations
- Predominantly mansion block typologies (stacked maisonettes with flats above)
- Mixed typologies (maisonettes, flats and houses)
- Predominantly traditional terraced typologies (terraced family houses)
- Locations for continuous plot frontage

Massing & Form

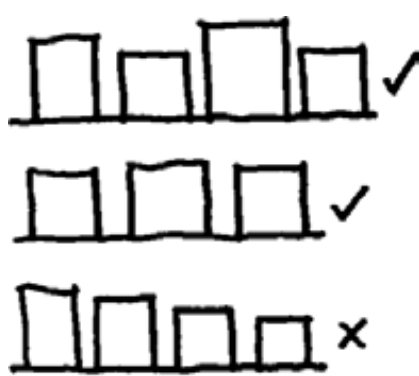
The block should have a form and mass that strongly defines its perimeter and edges. Higher densities in south will allow for longer block runs.



Typical mansion block typologies, Maida Vale, London

Relative Heights

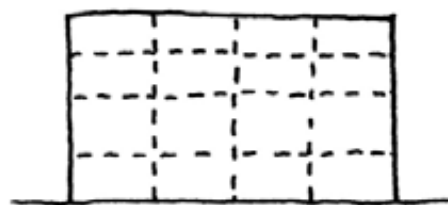
Heights of adjacent blocks should generally be consistent - not staircase form. Prominent Corners and Nodes can be + 2 storeys maximum.



Consistency in Heights, East Village, London

Typologies

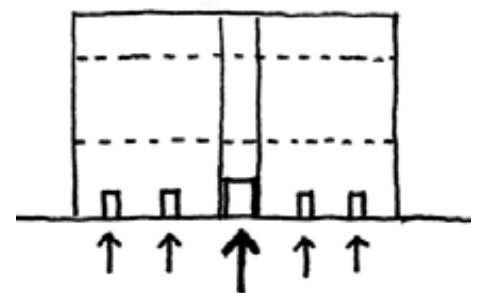
A mixture of flats and maisonettes that relate to the mansion block typology and allow for higher densities than the north and central character areas.



A mix of flats and maisonettes, Hammond Court, Waltham Forest, London

Entrances

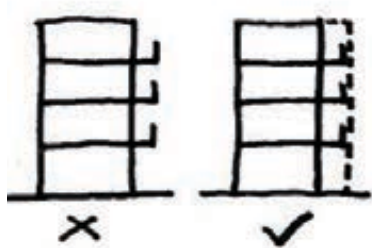
Generous and spacious entrances for communal lobbies. All ground floor dwellings to have private entrances accessed directly from the street.



Generous entrances, Hammond Court, Waltham Forest, London

Deck access

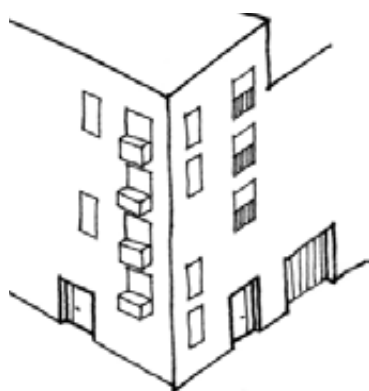
Deck access layouts if used require concealing behind a rear facade. A core should not serve more than 8 dwellings on each floor.



Concealed deck access, Hammond Court, Waltham Forest, London

Corner Treatments

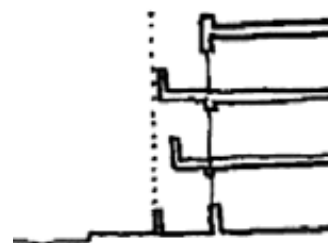
Corners need to use elements like entrances, balconies and fenestration to articulate corners and ensure overlooking and animation on both street facades.



Active corner conditions, Accordia, Cambridge

Private Amenity Space

Balconies should never protrude beyond the dwelling's front garden or planting buffer line. Therefore the size of balcony is proportional to the defensible space at ground level, according to each street type.



Proportional protruding balconies Kidbrooke Village Phase 1, London

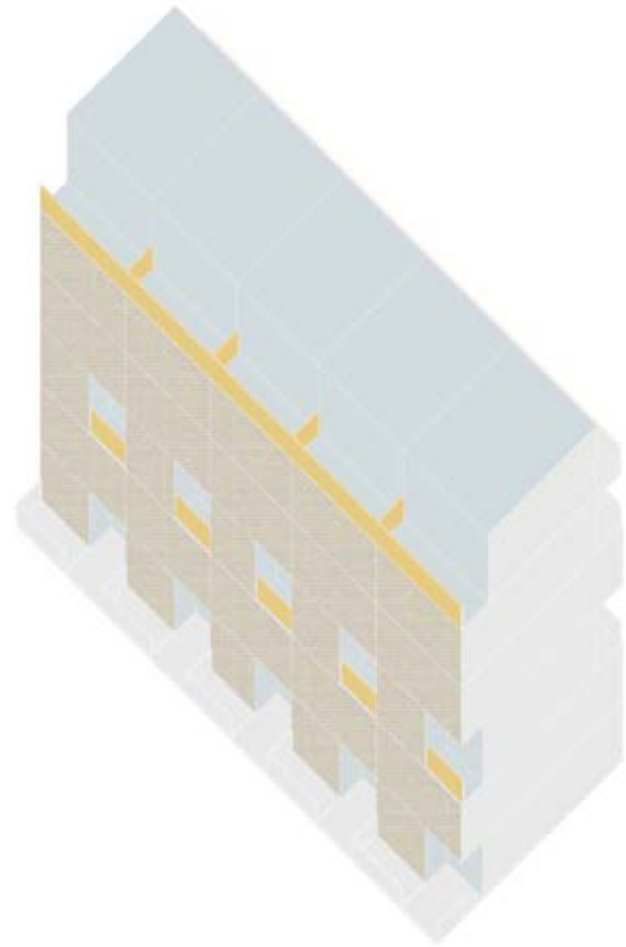
Typical Block Character

The general facade and block treatment to the southern area should be appropriate to the high density, height and the typology of mansion blocks as described in this section.

Described as 'background' or 'the everyday' buildings these form the majority of blocks, but are of no less quality or importance in creating the urban and architectural character of the neighbourhood. Blocks which lie opposite and adjacent to new and existing residential blocks to the south must respond to their massing and materials.

The typical approach to facade treatment should be considered as the following:

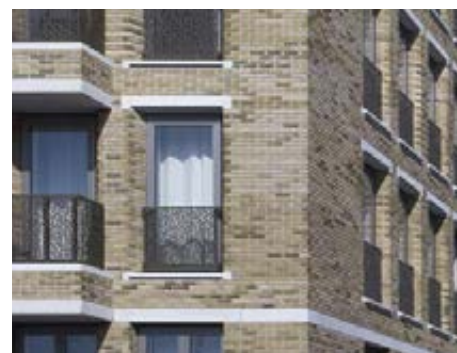
- Simple orthogonal building which defines the urban block
- High quality architecture expressed through order and simplicity
- Refinement within it's detailing
- Generous proportions to elevations and windows
- Single common material and limited palette
- Facade intrusions to articulate elevation
- Limited facade protrusions.



Order and simplicity in facade treatments, Finsbury Park



Singular materiality and simple block form, Grosvenor Waterside



Limited protrusions and a simple material palette, Lommerrijk Residential Block, Amsterdam

Key

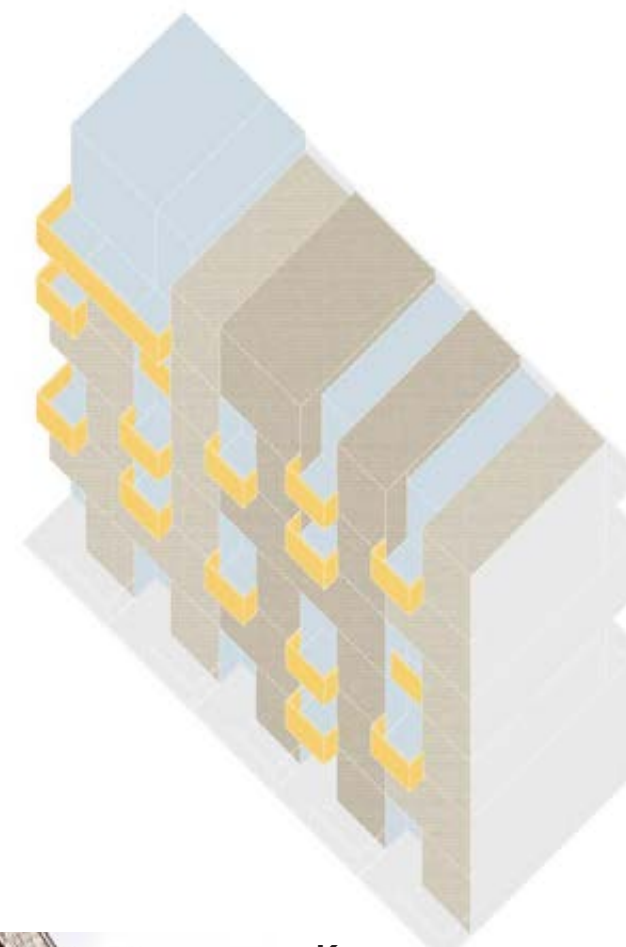
- Singular materiality
- Facade articulation (intrusions, relief, insets)
- Features (protrusions, balconies, bays)

Key Frontage Character

These blocks are identified as those that address the Woodland Walk and therefore can allow for a distinctive facade treatment where necessary.

However, the architecture should also adopt the underlying principles of the typical block character as above, ie. orthogonal massing, generous proportions and high quality expressed through refined detailing.

- Facade treatment that relates to public green space
- Scope for further articulation of roof line and elevation line
- Scope for expression of balconies
- Maximum of 2 common materials of similar weighting to facade.



Expression of balconies and articulation of rooflines, Kilburn, London



Overlooking the main green space with pronounced gables and frontage. Kidbrooke Village Phase 1



Articulation of the elevational line, Timberyard, Dublin

Key

- Max. 2 materials as common elements
- Facade and roof articulation
- Facade / balcony extrusions

Prominent Corner Character

These are corner elements that identify key nodes and markers in way-finding and orientation around the site.

These elements have scope to contrast to the typical character of blocks and can be achieved through several different approaches:

- Allow for material of contrasting colour or mineral material
- Height to a maximum of 2 storeys above the general height of the block within the parameter restriction of a maximum of a length of 2x the depth of the block (refer to 3.6 Building Heights and Density)
- Articulation of building elements such as fenestration, solid and void, balconies or ground floor treatment
- Openings to respond to specific vistas or how the building turns the corner
- Break from order of typical elevational order of the typical block.



Articulation of elements on corner block, Tokyo, Japan






Break from typical block character, Accordia, Cambridge



Elevation to respond to views and way-finding, Schiller Park

Key

-  Contrasting singular materiality
-  Facade articulation (intrusions, relief, insets)
-  Features (protrusions, balconies, bays)

Typical Material Palette

The material character describes the scope of materials which will form the common palette for buildings in the southern area. This should compliment the material finishes that are already prevalent through phase 1B development.

The following principles describe the base palette to which various colour accents may develop from:

- Predominantly brick/masonry finishes
- Secondary finishes of reconstituted stone or concrete
- Timber metal composite windows
- Predominantly light or buff colour material palette.



Existing material palette at phase 1B development



Predominantly buff colour palette, Bear Lane



4.7 NORTHERN CHARACTER AREA

4.7.1 QUALITY OF OPEN SPACE, PUBLIC REALM & PLAY












The Northern Area is slightly more remote from the main community hubs and transport infrastructure, and is therefore characterised as a more domestic and traditional residential area. Smaller scale buildings and intimate streets and spaces define the area, with the Village Green at its heart, overlooked by the northern community hub as a local row of shops.

The Northern Woodland Walk and pocket parks provide local play areas enriched with greenery and biodiversity. The green routes aim to create close ties with the surrounding neighbourhoods to encourage connectivity and movement, even further afield to Mill Hill Broadway and to the east across the railway and M1.



Figure 4.7.1 - Combined Parameter Plan for Character Area Open Spaces, Play and Tree Strategy

Key (Refer to Sections 3.3 and 3.4 of the Development Framework)

- | | |
|--|---|
|  FIXED Open spaces - Enhanced existing green assets |  Indicative locations for play |
|  UNFIXED Open spaces - New pocket parks |  Existing trees on fixed open spaces & the Green Spine |
|  Open space reference |  Existing trees on-plot & on-street |
|  Green Spine - north-south continuous green route |  Rear gardens - predominantly podiums & rear courts |
|  Connecting Green routes - east-west links |  Rear gardens - mix of podiums, rear courts & rear gardens |
| |  Rear gardens - predominantly private rear gardens |



Collage of the Village Green demonstrating principles that enhance the existing character

**N1. The Village Green
(Fixed Open Space on the Green Spine)**

The Village Green is an open space dotted with trees at the top of the Northern Woodland Walk, enclosed by housing creating a safe and overlooked space. Opportunities for play and relaxation loosely placed within the landscape should retain this sense of openness whilst intensifying the potential for activity along a route or edge of the green to define and hold the open space.

The collage above presents some of the main space-shaping features:

- A. Retention of mature healthy trees and upkeep of the undulated grass will be the focus of this open space.
- B. Pedestrian and cycle paths through the green space should follow desire lines, from street to park, to ensure they would be well used. A main pathway should continue north/south along the Green Spine, linking the space as part of the wider green network.
- C. Provision of opportunities for play, relaxation and wildlife by enhancing what already exists along the route. The undulating grass with its freestanding trees can remain intact and become a public asset, bringing together picnic spaces beneath trees and grass mounted play elements scattered along the landscape. A grassy area should be kept open to encourage small scale outdoor family games.
- D. The adoption of the site-wide streetscape guidance with a subtle, domestic palette of materials (to be developed and established during the first phase).
- E. Adjacent buildings will hug this space from all sides but open up to allow a clear view south into the Green Spine link towards St Augustine's Church and Heybourne Park. This connection needs to remain visible and open.
- F. Lighting should aim to provide a sense of intimacy and continuity and reinforce the hierarchy of the lower density housing blocks and terraced streets. Lighting around the Village Green should be appropriate to the local community hub, whilst not interrupting the open space of the Green.



The existing green space to the north of Grahame Park



Traditional Village Green, Toddington

DESIGN GUIDELINES - NORTHERN CHARACTER AREA

**N1. The Village Green
(Fixed Open Space and Green Spine)**

The Village Green should be an attractive destination space at the heart of the Northern Character Area, directly adjacent to the Northern hub, as an open green space for games and play for all ages, attractive planted and seating areas. It is well connected with local walking, cycling and nearby bus connections to the wider neighbourhood and Mill Hill Broadway.



Existing green asset to be enhanced



Open green space to enable games for all ages



A multi-layered space intensified with opportunities for food growing, relaxation, play, and wildlife. King's Crescent pocket park, Hackney

**N2. The Northern Woodland Walk
(Fixed Open Space and Green Spine)**

With new clear green links to Heybourne Park and local amenities, this linear wooded route can combine footpaths and cyclepaths along the Green Spine to reinforce links between open Village Green in the north and the wider green network, creating an attractive place to pass through to local schools, churches or shops, to live beside and play within.



Existing green route towards northern space



Open and overlooked pedestrian and cycling routes through the site



A raised walkway as a platform
Altab Ali Park, Tower Hamlets

**N3 & N4. Pocket Parks
(Unfixed Open Space)**

The location of a pocket park should aim to harness the existing amenity of any mature trees and green spaces within the block, whilst providing accessible areas of play. As space is limited the investment here should be greater. The space should provide for multi-layered activities for varying ages and inclinations, not only for play but for others such as gardening and repose.



A space than can be appropriated and shaped by residents with support



Play area with generous boundaries that in themselves are appropriated for play. Wick Green, Hackney



Play opportunities organised along a linear route within a narrow space. Whittington Park, Camden

Public Realm Details

General principles in relation to the Southern Character Area as a whole:

Play

Taking advantage of the sense of enclosure that is formed by the more intimate Northern Character Area, play elements should be placed loosely within green spaces as opposed to a dedicated play area with a clump of play equipment. Play may form part of a route or become a boundary in themselves, defining the open space for other games, activities or picnicking.



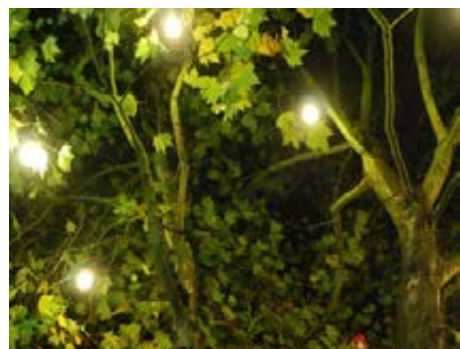
Planting

The north area planting should support the domestic character of this area with more structured English garden like planting, with elements of the woodland walk bringing with it wild planting and places for wildlife and play to overlap. The planting here should be fruit trees and berry bushes, as well as a mixture of flowering specimens to attract insects and birds.



Lighting

Public realm lighting should aim to provide a sense of intimacy and safety. Lighting along the key links should encourage use as safe routes throughout day and night. Lighting within the local streets could provide a counterpoint with temperate lighting that suits the smaller scale and more private nature of the domestic streets and spaces. Simple, consistent integrated street lighting as part of public realm and street design should be detailed as part of individual planning applications.



Furniture

Similar to the arrangement of play, furniture should be placed loosely within open spaces, and as space is limited in this character area the furniture will be fewer but with higher investment in each piece, for example a stone ping-pong table, or a bespoke treehouse.



4.7.2 QUALITY OF STREETS

This section describes the qualitative elements of the northern character area regarding streets and their associated parameters. The bus route from the Central Hub follows Corner Mead at the eastern edge of the site, whilst the other boundaries are Secondary, quieter routes. Lanes link through the site to the Avenue, passing centrally north/south through the site adjacent to public open space and the Northern Hub.

Residential Streets can sub-divide plots further as local shared routes continuing the urban grain of traditional continuous street typologies.

All road layouts are illustrative and are subject to traffic modelling, to be used to support future planning applications.

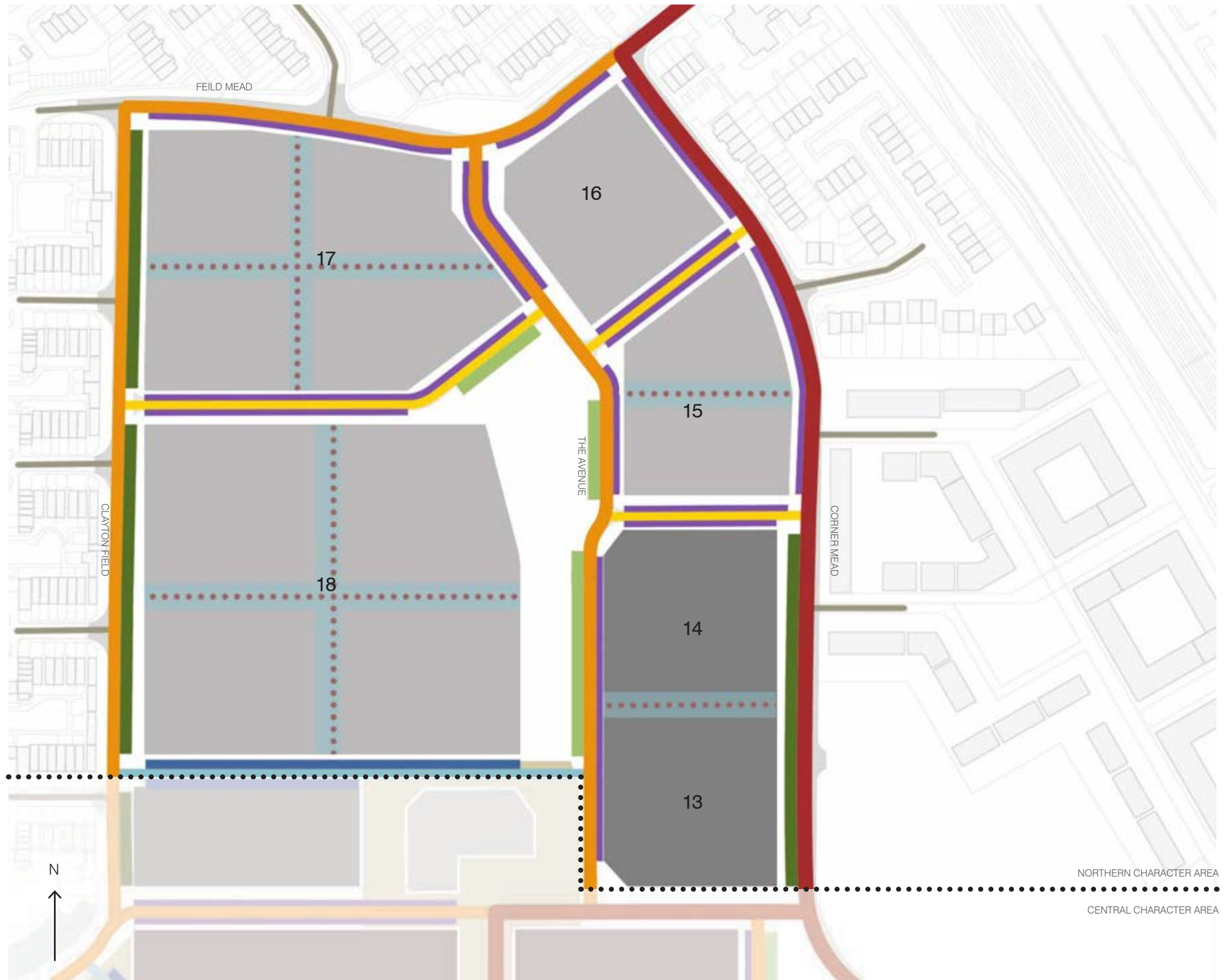















Figure 4.7.2 - Combined Parameter Plan for Character Area Street and Parking Strategy

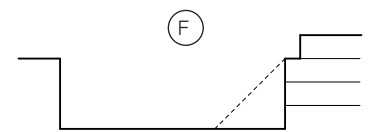
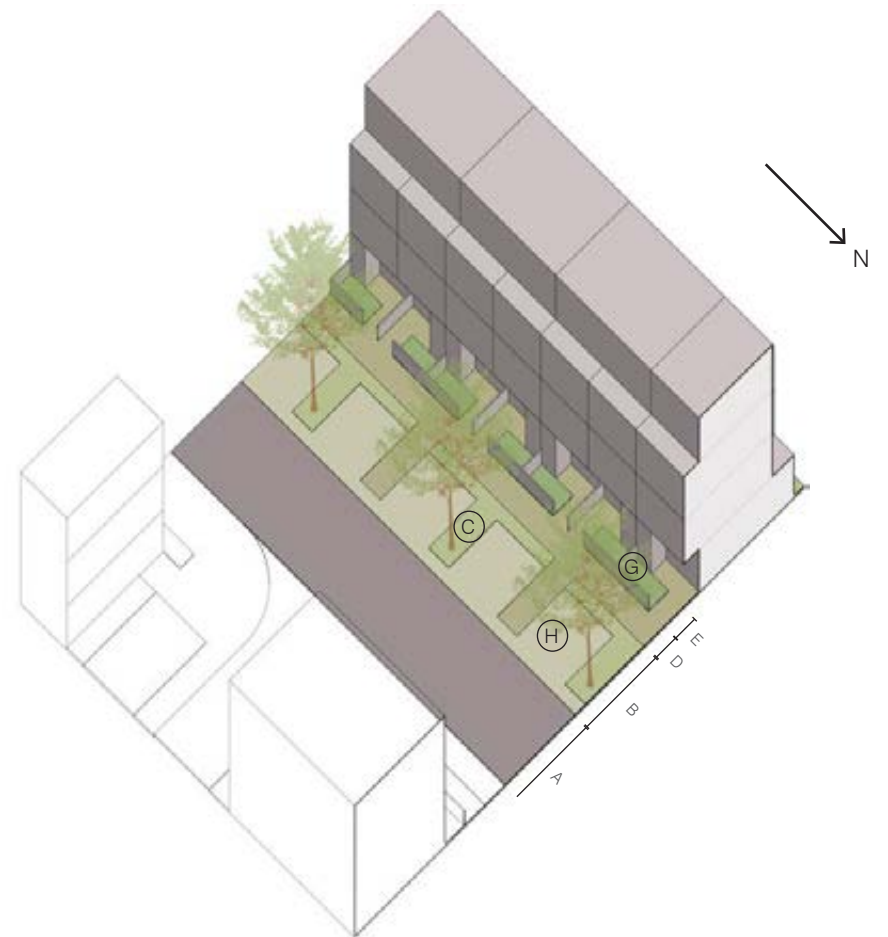
Key (Refer to Sections 3.5 & 3.6 of the Development Framework)

- | | |
|--|---|
|  FIXED Primary Routes |  Bay parking along green edges |
|  FIXED Secondary Routes / Avenues |  Bay parking along boundaries |
|  FIXED Tertiary Routes / The Lanes |  Parking as per FIXED Residential streets Type A or B |
|  FIXED Residential streets Type A or B |  On-plot parking condition - predominately podiums & rear courts |
|  UNFIXED Residential streets Type A or B |  On-plot parking condition - predominately rear courts & private rear gardens |
|  Parking as per UNFIXED Residential streets Type A or B |  On-plot parking condition - minimal on-plot parking
Predominantly private rear gardens |
|  On street parking | |

Primary Routes / Boundaries and Bus Route

Corner Mead connects to the wider site with an established bus route, along the east edge of the site. Driveway-like parking already exists, but the new layout should locate parking in clusters separated by planting, with the pavement running alongside front gardens to ensure pleasant and safe walking routes.

PARAMETER	DESCRIPTION	Maximum
A	Carriageway Two way with allowance for buses and cycling integration	7.3m width
B	Parking Parking in groups of 4 separated by trees, with allowance for pedestrian buffer to road. Of different material to road surface.	4.8m depth plus buffer
C	Planting Planting and trees located between parking spaces.	
D	Pavement In between planting strip and front garden. Access also centralised between sets of four parking spaces.	2m width
E	Front Gardens Enclosed front gardens & integrated bin stores	2m width
F	Proportion At least 1:2 (frontage height : frontage separation) Top storey to be set back, additional to 'frontage height'.	1:2
G	Refuse Refuse storage in front gardens, collected directly from street	
H	Road surfaces Mixed material palette for each use, defined by kerbs. Refer to Section 4.2 for approach to surface materials.	



Sectional proportion

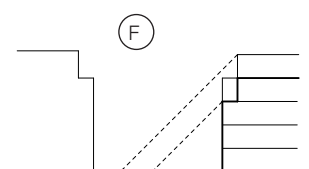
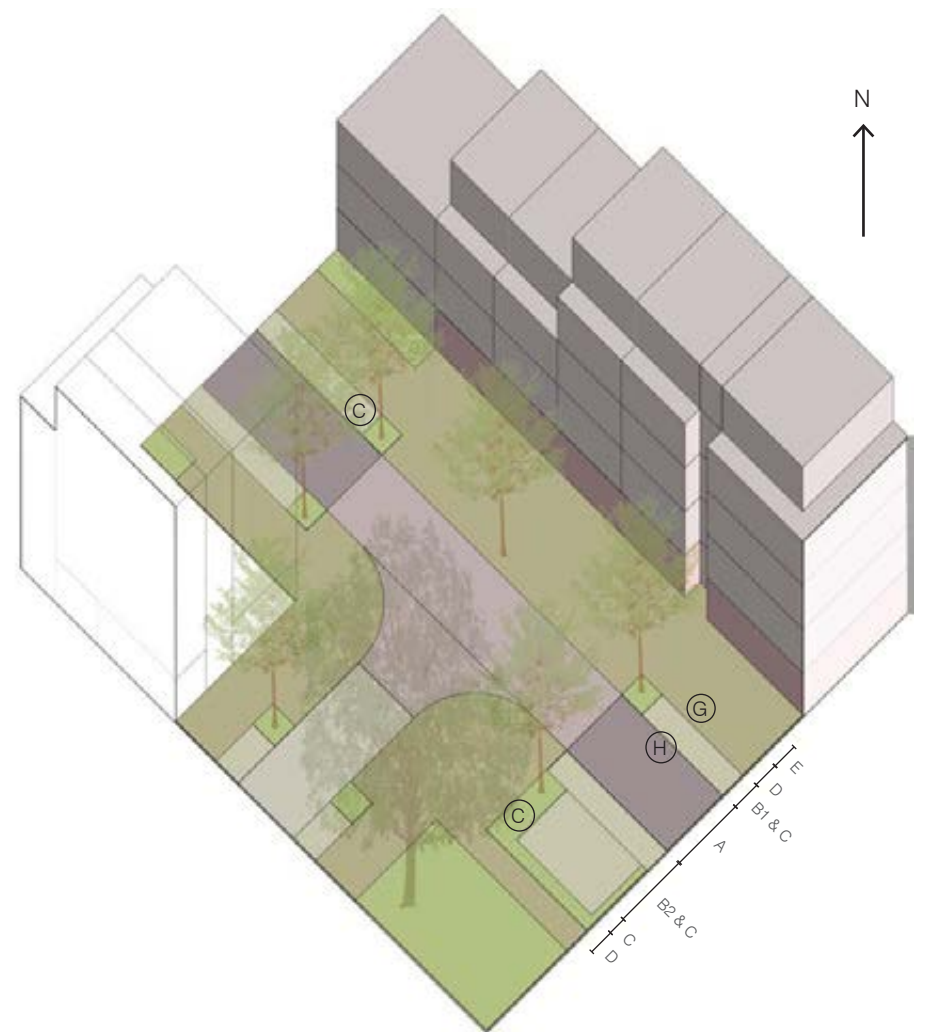


Existing character with clustered bay parking on bus route, on Corner Mead, Grahame Park

Secondary Routes / Boundaries and the Avenue

These streets encourage better north/south movement as long linear routes. Existing boundary streets should retain their current local character, with green verges, tree planting and bay parking. The Avenue should wind centrally through the site along the Green Spine and through the Northern Neighbourhood Hub, next to the Village Green, with bay parking appropriate on this green edge.

PARAMETER	DESCRIPTION	Maximum
A	Carriageway Two-way continuous route north/south with cycling integration	5.5m width
B	Parking Double sided on street parking (B1), or bay parking with pedestrian buffer to road (B2).	2.2m width 6m width
C	Planting Trees in line every 5 parking spaces and every 4 bay spaces. Planting located beside bay parking	
D	Pavement Pavements located between parking and front gardens Wider pavements in front of Non-residential uses	3.1m width 2m width
E	Front Gardens Enclosed front gardens & integrated bin stores	1.5-2m width
F	Proportion Consistent at approx 1:1.5 (frontage height : frontage separation) Top storey to be set back, additional to 'frontage height'.	1:1.5 ratio
G	Refuse Refuse storage in front gardens, collected directly from street	
H	Road surfaces Mixed material palette for each use, defined by kerbs. Refer to Section 4.2 for approach to surface materials.	



Sectional proportion



Bay parking character along existing local street Clayton Field, Grahame Park

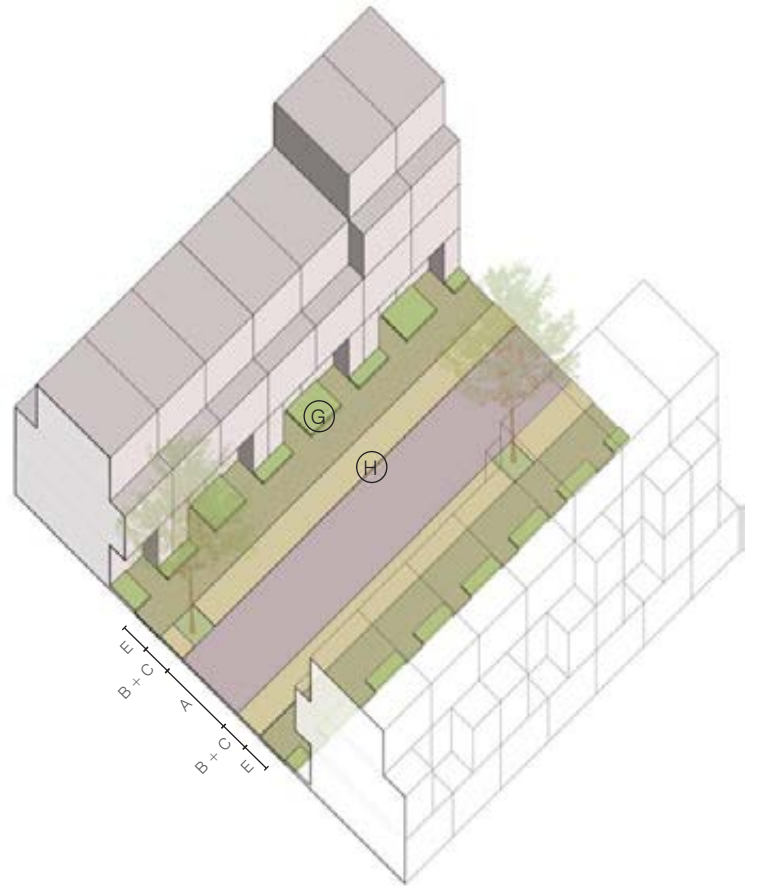


Wandsworth Common

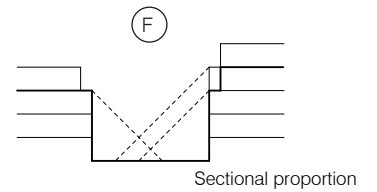
Tertiary Routes / Lanes

Winding roads that span across the site east/west in response to site context and proposed conditions, providing better permeability and connectivity through the site by linking the boundary routes to the central avenue.

PARAMETER	DESCRIPTION	Maximum
A	Carriageway Two way routes crossing green spine, linking east/west, with cycling integration	5.5m width
B	Parking On street parking	2.2m width
C	Planting Trees between parking at irregular intervals and on bends.	
D	Pavement Between parking and front gardens	2m width
E	Front Gardens Mix of informal planting buffers & front gardens	1-1.5m width
F	Proportion Varying along route from approx 1:1.5 to (frontage height : frontage separation). Top storey to be set back, additional to 'frontage height'.	1:1.5 ratio
G	Refuse Within private & shared entrances, collected from street	
H	Road surfaces Mixed material palette for each use, road defined by kerbs. Refer to Section 4.2 for approach to surface materials.	



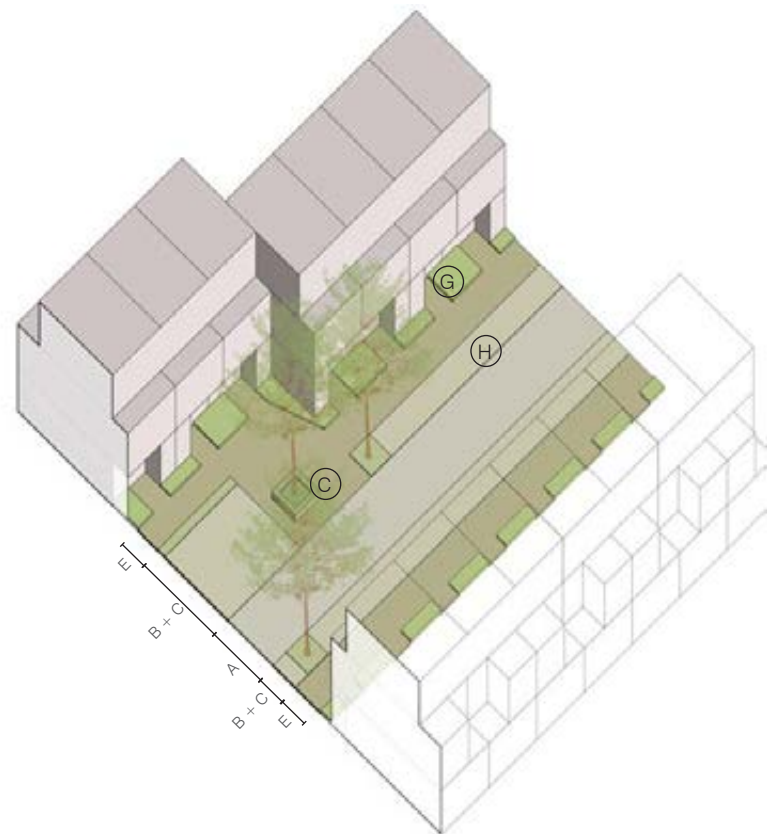
Local residential street integrating parking with flush services



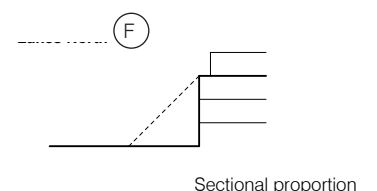
Residential Streets Type A

Local street linking between Lanes, with on-plot locations adjacent to Public Open Space or double fronted with dwellings, mirroring the character and street layout as traditional terraces. Minimal level changes for pedestrian priority, safe access and play opportunities.

PARAMETER	DESCRIPTION	Maximum
A	Carriageway Local route with cycling integration	4.5m width
B	Parking On street parking. Some bay parking where width allows with pedestrian buffers and planting	2.2m width
C	Planting Small trees and multi-use planting / play / seating areas integrated into street between parking	
D	Pavement Between privacy buffer & parking	2m width
E	Front Gardens Privacy buffer with low level planting	1-1.5m width
F	Proportion Consistent at approx 1:1.5 (frontage height : frontage separation). Top storey can be set back, to be additional to 'frontage height'.	1:1.5 ratio
G	Refuse Incorporated into entrances, collected directly from street	
H	Road surfaces Limited material palette for each use, flush together with no kerbs. Refer to Section 4.2 for approach to surface materials.	



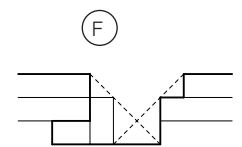
Accordia, Cambridge



Residential Streets Type B

Long, linear, narrow, low rise, shared surfaces prioritising the pedestrian, to make connections on plot, as shared surfaces between dwellings, encouraging multi-use of space, parking, play and neighbourly interaction.

PARAMETER	DESCRIPTION	Maximum	
A	Carriageway	Narrow shared surface for continuous pedestrian route	8m width
B	Parking	Garages in maximum 50% dwellings on street type Bay parking where widths allow as part of flexible space, or in open undercroft beneath end gardens.	
C	Planting	Pinch point at end of street to locate planting area for at least 1 tree, seating and small scale integrated play.	
D	Pavement	Integrated to give priority to pedestrian routes	
E	Front Gardens	Minimal privacy buffer defined by planting or surface change, for plant pots, seating local to dwelling etc.	0.5-1m width
F	Proportion	Consistent at approx 1:1 (frontage height : frontage separation). Top storey can be set back, to be additional to 'frontage height'.	1:1 ratio
G	Refuse	Incorporated into dwelling entrances and parking entrances. Refuse vehicle to travel along street for collection	
H	Road surfaces	One material for shared surface, no kerbs or other level change. Refer to Section 4.2 for approach to surface materials.	



Safe, friendly local street with minimal level changes, Pepys Estate

Public Realm Details

The treatment for more detailed street design elements, such as thresholds, shared surfaces or parking are set out below. The approaches set out here are considered appropriate and encouraged for this Character Area. All detailed designs for streets and public realm should refer to local and best practice guidance such as Manual for Streets, Manual for Streets 2 and TFL guidance, such as London Cycling Design Standards.

Streets on Green Routes

Green routes should provide increased public amenity on strategic movement corridors, as an overlay to the street sections above. Additional planting should define a green route (see Development Framework Section 3.3) with elements such as raised planters, linear swales or enhancing existing mature tree clusters and tree lines. This should align with the proposals in Section 4.6.1.



Green Edge Parking

Parking should appear as a different surface to the road itself to ensure the visual effect of the road is minimal. Bay parking should integrate with pavements and green edges, with informal surface finish such as resin-bond or grit, and planting.



ICON, Street

Garages

Garages need to be a positive feature of the facade, using quality materials to enliven the street.

Garages are permitted on maximum 50% of units. These should be allocated in clusters or mixed with other house types in order to maintain active street frontage and prevent breaking up the pavement.



Accordia, Cambridge

Non-Residential Frontage

Streets that are occupied by non-residential frontage need to give extra generosity and quality of space to the immediate public realm, planting and furniture.

The northern community hub should be an attractive, small scale row of shops for local convenience at the edge of the Village Green.



New Road, Brighton

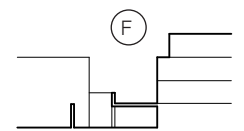
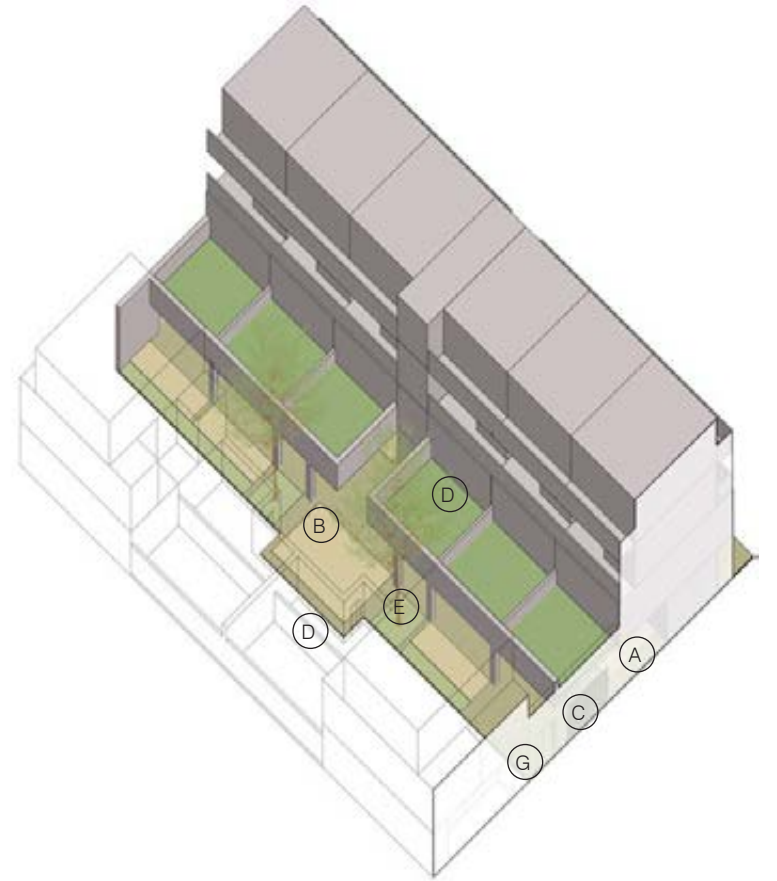
4.7.3 QUALITY OF REAR COURTS & GARDENS

This section describes the quality of rear courts and gardens in the northern character area, setting out the character for amenity space, parking, planting, boundary treatments and refuse strategy.

Rear Courts & Raised Private Gardens

Main frontages onto the avenue and fixed green spaces are appropriate for rear court parking, abutting the gable ends of the long terraces typical in the area.

PARAMETER	DESCRIPTION	Minimum	
A	Location	Located along rear of mixed type buildings (eg. maisonette with flats above), with secure access through the gable ends or through break in building line	
B	Parking	Bay parking located beneath units and next to garden wall	
C	Boundary	Bound by rear garden wall to opposite units and end walls for access. The adjacent end units could have secure gates.	
D	Gardens	Length of ground based gardens of minimum depth to allow for rear parking court. Raised gardens are private to adjacent unit, covering no more than 50% of rear court area.	5m depth
E	Planting	Tree planting between bay parking in rear courts to protrude above raised garden level. At least 1 tree between every 6 spaces. Planting along line of rear wall for maximised greenery	1 tree 1m width
F	Privacy	21m between habitable room windows, unless design considerations allow & 9m to gables	21m / 9m
G	Refuse	Refuse store located at ends of courts adjacent to street boundary, accessed directly from street.	



Sectional proportion

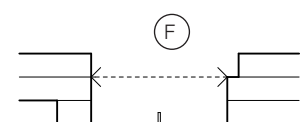
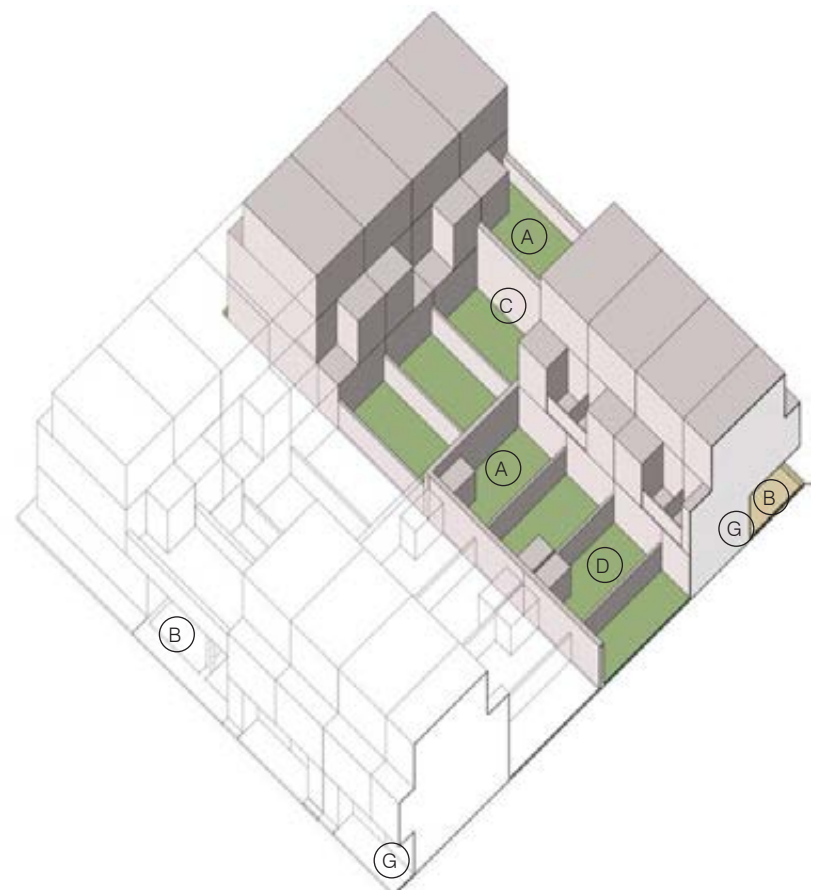


Off street bay parking at gable ends, Molenplien, Netherlands

Rear Private Gardens

Following the typical typology of long traditional terraces, rear private gardens should be the prevalent in the north. Between buildings it is appropriate to have open undercroft parking beneath raised gardens. Garages can assist parking, but are limited with careful design considerations (see Residential Streets Type A).

PARAMETER	DESCRIPTION	Minimum	
A	Location	Traditional rear gardens, excepting end units which may have raised gardens to allow open undercroft parking.	
B	Parking	Undercroft at ends and garages allowed on max 50% of units on mews streets. Bike storage in gardens and garages	
C	Boundary	Bound by tall rear garden walls with overhanging greenery on raised gardens	
D	Gardens	Full length gardens for both ground based and raised	9m depth
E	Planting	Allow for existing trees retained within back gardens where possible	
F	Privacy	21m between habitable room windows, unless design considerations allow.	21m
G	Refuse	Refuse stores integrated into unit entrances	



Sectional proportion

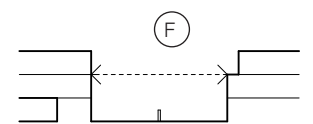
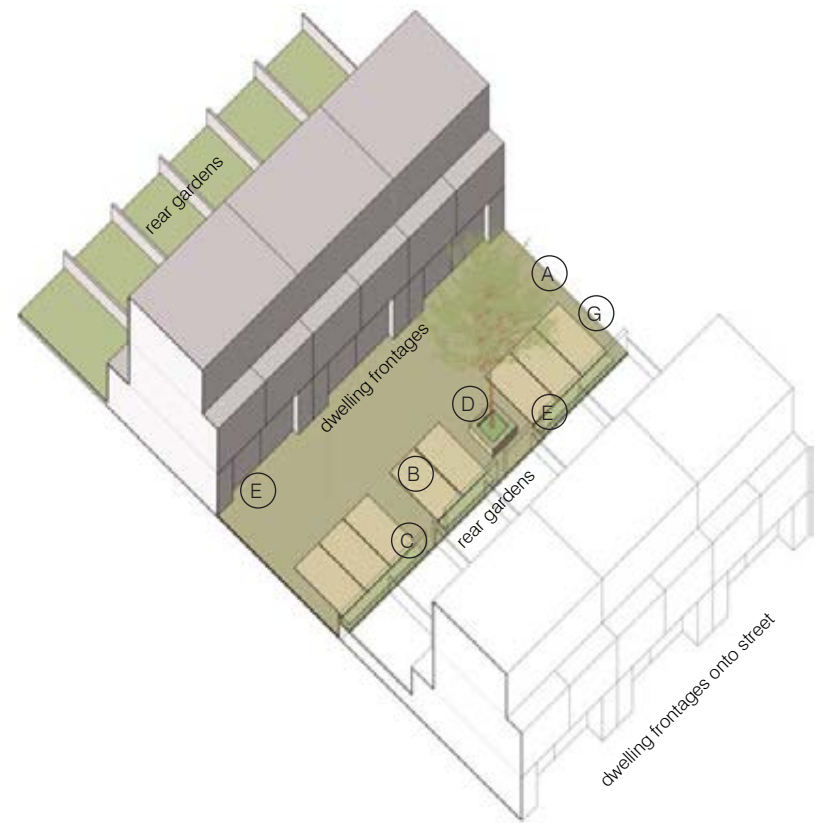


Private rear gardens with strong planting elements, Berlin

Front to Back Shared Courts

Where it is not possible to match dwelling frontages, such as with Mixed Retention and Renewal plots, a sensitive arrangement can be given to create a shared court, overlooked directly by one set of dwellings, but accessed by dwellings on both sides where possible. This encourages a communal approach to the space, for parking, planting and play as a shared amenity.

PARAMETER	DESCRIPTION	Minimum
A Location	Adjacent to existing buildings, where not able to match fronts to fronts, sensitive design allows fronts to face backs across a shared court.	
B Parking	Bay parking located against opposite garden walls	
C Boundary	Continuous wall, not fence, preferably low in height, with adjacent planting strip. Residents gates could be located through from rear gardens where appropriate.	
D Amenity	Mix of hardscaping, planting, seating and small scale play	
E Planting	Ensure at least 1 tree as a focus to the space, plus 1m planting buffer adjacent to rear garden wall. Allow privacy buffer adjacent to dwellings minimum 1m for plants etc	1 tree 1m buffer
F Privacy Distances	21m between habitable room windows, unless design considerations allow.	21m
G Refuse	Refuse store located adjacent to court entrance, accessed directly from street	



Sectional proportion



Frontages facing private rear gardens, with permeable boundary treatments and planting, Britz Metropolitan, Berlin

Garden Details

Front gardens

Defined gardens should be clear with secure boundaries, sheltered entrances and opportunities for planting.

Planting Buffers

Privacy buffers should incorporate planting and space for seating, pot plants etc, and inset entrances to ensure defensible space.

Bin Storage

Integrated into all private enclosed front gardens or dwelling entrances. Should be accessible for ease of refuse collection, but subtly integrated into the facade / boundary treatments.

Bike Storage

Integrated into rear gardens and garages, or rear parking courts where applicable. This is as a preference to cycle storage in front gardens, so that private cycle storage should be incorporated and access allowed for through the dwelling.



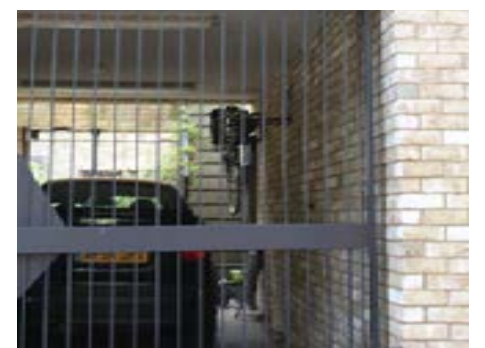
Defined gardens with hedges on boundaries, Great Knighton, Cambridge



Narrow planting buffers & surface material quality in narrow mews street, The Avenue



Integrated storage and bins area by dwelling entrance, Royal Road, London



Secure bike storage in rear of dwellings, Accordia, Cambridge

4.7.4 QUALITY OF ARCHITECTURE

Massing, Height & Urban Design

This section aims to set the architectural quality of the Northern character area. The distinctive character of the northern area comes from the arrangement of single family houses with private back gardens arranged around traditional terraced streets – an archetypal London residential street.

Predominant heights are 3 storeys in the northern part which may rise to 4 storeys nearer the southern end and adjacent to the Avenue and Green Spine. Strategic views allow for opportunity to create prominent corners within urban blocks which help orientation. A local provision of non-residential/ retail space will provide local conveniences for the immediate neighbourhood.

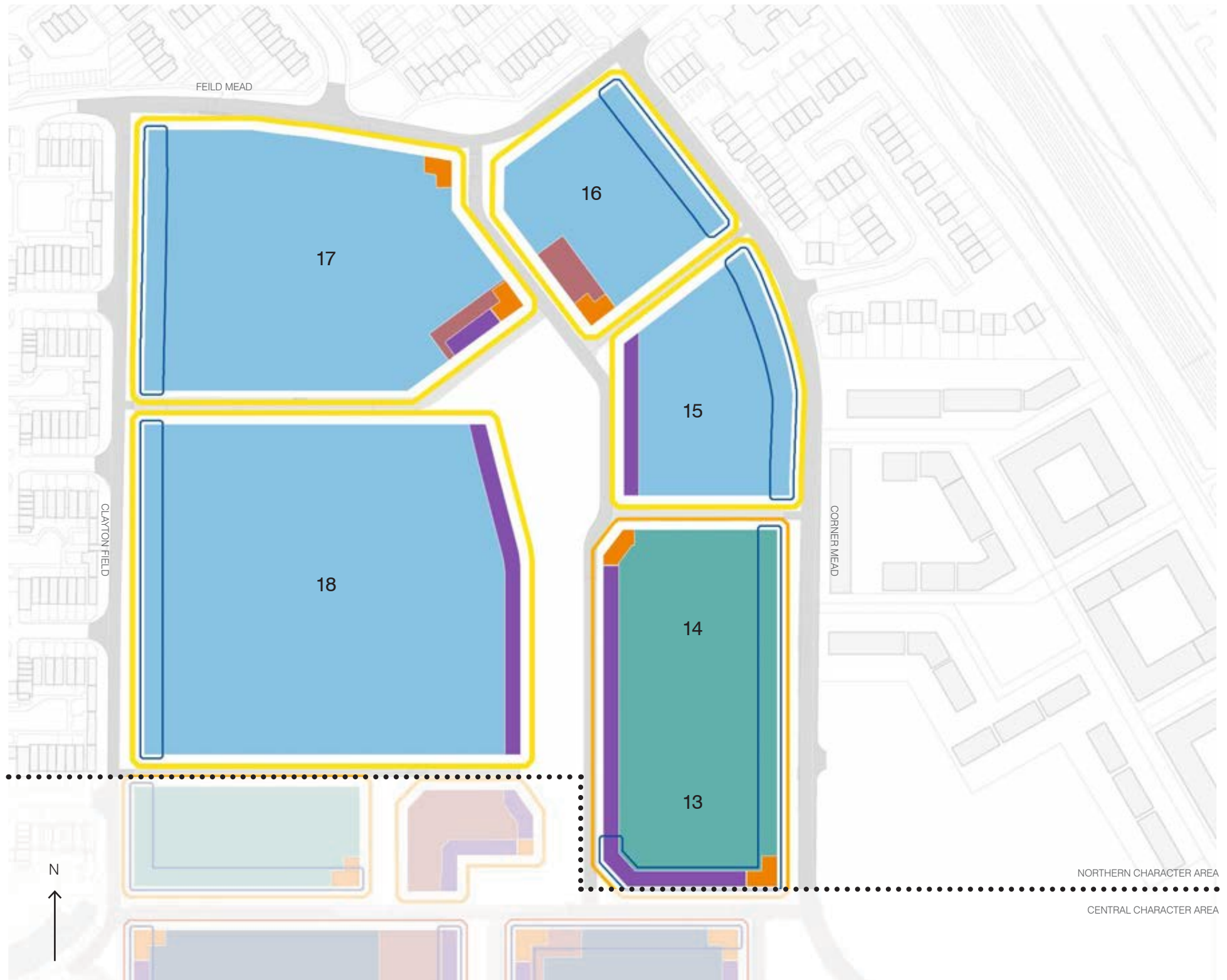


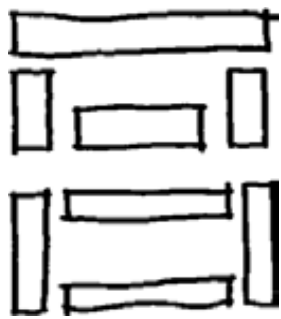
Figure 4.7.3 - Combined Parameter Plan for Character Area Heights, Density and Residential Typologies

Key (Refer to Sections 3.7 & 3.8 of the Development Framework)

- General block heights - Low (typically 3 storeys)
- General block heights - Medium (typically 4 storeys)
- General block heights - High (typically 4 to 5 storeys)
- Key frontage locations
- Prominent Corners and Nodes locations
- Non-residential uses (Northern hub)
- Predominantly mansion block typologies (stacked maisonettes with flats above)
- Mixed typologies (maisonettes, flats and houses)
- Predominantly traditional terraced typologies (terraced family houses)
- Locations for continuous plot frontage

Massing & Form

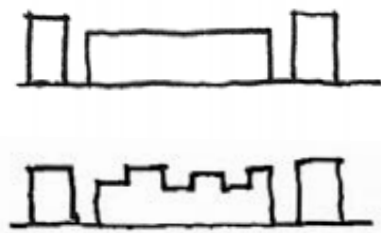
Residential blocks to allow for long straight runs of houses bookended by a run of houses or extend end blocks to provide a clear building line.



Consistent frontage of building line, Chimney Pot Park, Salford

Relative Heights

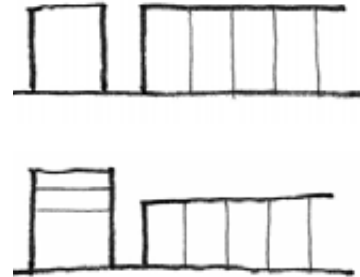
Terraced heights to be generally level but may step higher or lower within mews streets. Bookend blocks may step higher than mid runs.



Informal building heights, Molenplien, Netherlands

Typologies

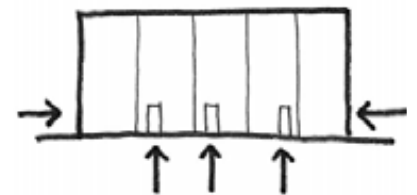
Predominantly terraced arrangement to houses. Book ended units may step up in height using flatted unit types.



Terraced arrangement to block, Hammond Court

Entrances

Single private entrances to be accessed directly from the street. Corner houses to have entrances to the gable side to maintain an active frontage to all edges.



Main entrances to the street., Molenplien, Netherlands.

Garages

No more than 50% of houses on a street should have garage parking, located in clusters of 3, or mixed intermittently with other house types in order to maintain active street frontage and prevent breaking up continuity of the pavement.



Traditional Mews Street, Queensbury Mews, London

Corner Treatments

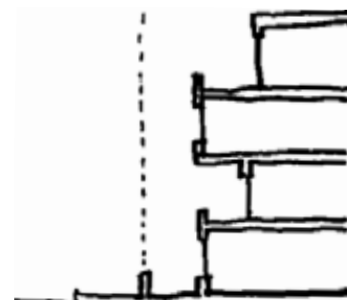
Corners need to use elements like entrances, balconies and fenestration to articulate corners and ensure overlooking and animation on both street facades.



Articulated return on the building facade, Braes Street, Islington

Private Amenity Space

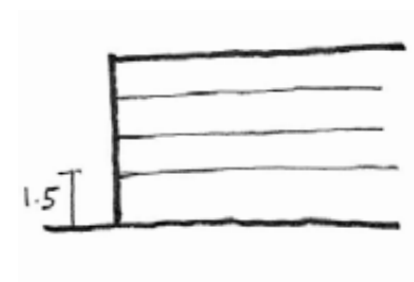
Predominantly terraced private amenity space to the rear and balconies being inset to the front facade. Balcony treatment should adhere to allocated block and facade characters.



Private amenity space positioned no further than the building line, Queensbridge Quarter, Hackney

Non-residential provision

All non-residential provision to be located at street level. Upper levels to provide for residential accommodation.



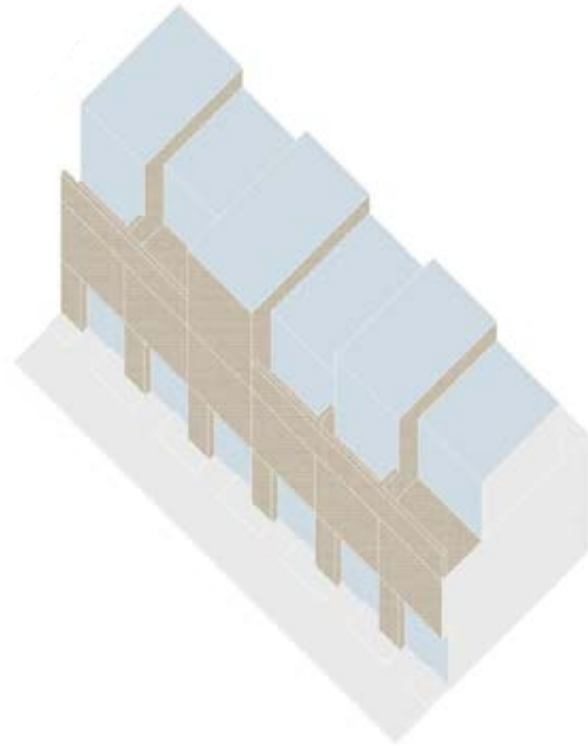
An active ground floor level, Alex Monroe Studios, Southwark

DESIGN GUIDELINES - NORTHERN CHARACTER AREA

Typical Block Character

The typical block treatment should be reflective of traditional terraced houses. These are generally located on Lanes, Residential Roads or Mews Streets. Here the typical block treatment may vary dependant upon the type of street it is located.

- Simple building forms
- Up to 2 common materials and limited palette
- Consistency of facade treatment to blocks and roof line to buildings onto main streets, but scope for informality to blocks along mews streets
- No balconies, but roof terraces are accepted.



Repetitive building type with terraces, Great Knighton,



Informal change in height and profile of different neighbouring houses, Molenplien, Netherlands



Simple building form and long terrace, Chimney Pot Park, Salford

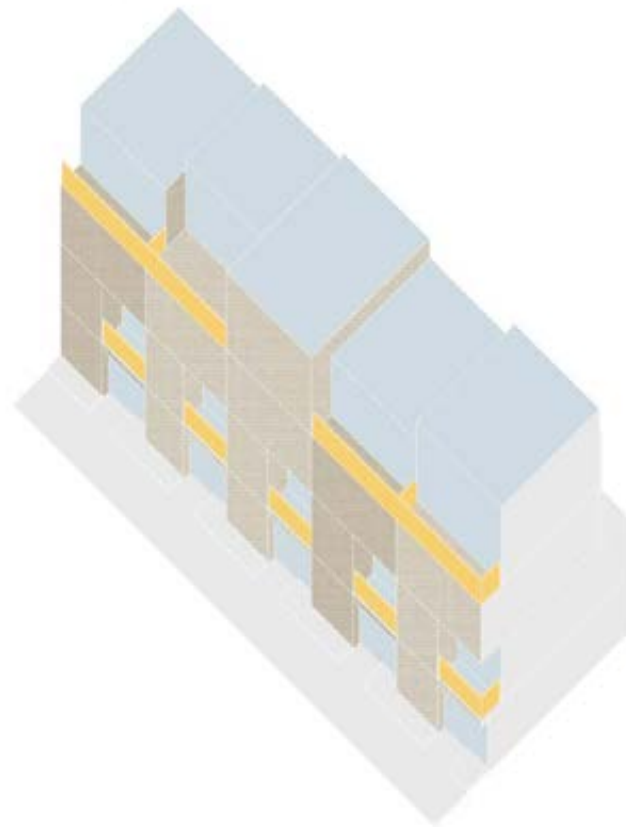
Key

- Limited materiality
- Facade articulation (intrusions, relief, insets)
- Features (protrusions, balconies, bays)

Key Frontage Character

These blocks are located fronting onto the village green and the extension of the woodland walk and should therefore relate to these spaces. Building heights may be taller here and flatted accommodation may be provided.

- Allowance for informality of building line or roofline
- Terraces to upper floor
- Inset balconies allowed to mid level flats
- Scope to change in material colour to elevations within a consistent material palette.



Informal roofline and scope for material change, Saffron Walden, Essex



Animated facade, material use & roofline on main frontages, Kidbrooke Village, Phase 1



Inset balconies to mid level apartments, Canning Town

Key

- Consistent materiality
- Facade articulation (intrusions, relief, insets)
- Features (protrusions, balconies, bays)

Prominent Corner Character

These blocks are located at corners which form strategic vistas and orientation points, It is important that the building responds to this and may contrast to the other block characters.

- Scope for height to be no more than 1 storey above predominant height of the block
- Scope for material or colour change within a palette of 2 main elevation materials
- Openings to respond to specific vistas or how the building turns the corner
- Break from order of typical elevational order of the typical block.



Height and change in material to corner
Abode, Newhall



Change of form to corner building, Great Knighton,



Scope for material change, Hereward Hall

Key

- Contrasting materiality (scope within palette)
- Facade articulation (intrusions, relief, insets)
- Features (protrusions, balconies, bays)

Typical Material Palette

The material palette aims to draw influence from the existing material palette surrounding the northern area site as the old and new sides of the street need to be complimentary to create coherency to the neighbourhood.

- Predominantly brick/masonry finishes
- Secondary finishes of vertical clay tiles
- Timber metal composite windows
- Predominantly mid- brown to dark brown colour material palette.



Drawing influence from the existing material palette in the surrounding area



Dark brick finishes, Queensbridge Quarter, Levitt Bernstein



Brick and other masonry finishes as a key material

4.8 CENTRAL CHARACTER AREA

4.8.1 QUALITY OF OPEN SPACE, PUBLIC REALM & PLAY

The first stage of the Grahame Park redevelopment will be focused in the Central Character Area, defining the public heart of the Stage B framework, with primary enhanced green space, Heybourne Park. It is important to capture the opportunities that this phase of redevelopment brings, with temporary measures helping to establish and maintain connectivity and visibility of amenities.

The proposals aim to ensure green through-routes and view lines along and across the site in this pivotal location, creating a new accessible and interactive heart of the community, linking to the wider green network, surrounding open spaces, churches, schools and transport links.



Figure 4.8.1 - Combined Parameter Plan for Character Area Open Spaces, Play and Tree Strategy

Key (Refer to Sections 3.3 and 3.4 of the Development Framework)

- FIXED Open spaces - Enhanced existing green assets
- UNFIXED Open spaces - New pocket park
- Open space reference
- Green Spine - north-south continuous green route
- Connecting Green routes - east-west links
- Indicative locations for play
- Existing trees on fixed open spaces & the Green Spine
- Existing trees on-plot & on-street
- Rear gardens - predominantly podiums & rear courts
- Rear gardens - mix of podiums, rear courts & rear gardens
- Rear gardens - predominantly private rear gardens



Collage of Heybourne Park demonstrating principles that enhance the existing character

C1. Heybourne Park (Fixed Open Space)

By establishing in the first phase a new legible pedestrian route from the schools and bus-stops beside the energy centre site to Heybourne Park and Central Community Hub, where future amenities will reside, an east-west green pedestrian corridor will create a permeable, accessible and safe link to start opening up the area.

Heybourne park with its sloping landscape and spacious character offers an excellent opportunity for larger play areas, for people to gather, picnic, rest and/or exercise on the green.

The collage above presents some of the main space-shaping features:

- A. The Central Character Area is pivotal in establishing the site wide strategies. It is critical to have the routes and infrastructure in place to create the Green Spine, establishing links to the wider area and the wider areas of the estate.
- B. Continuous pedestrian and leisure cycling pathways through the park following desire lines and green routes, connecting to the wider networks with clear and wide crossings where needed.
- C. As part of the east-west green routes, linking schools, bus routes, peripheral streets and sports fields to Central Community Hub, play spaces integrated within the park can enhance these routes.
- D. Play environments should be safe, well overlooked and public, allowing for a mix of age groups to congregate, play and exercise together.
- E. On the slopes of Heybourne park, a new play space and new clump of trees with benches offers excellent space for longer stay play, a public play space for the wider area.
- F. Clumps of trees with benches around, nearby the row of amenities so that shoppers can sit and meet.
- G. An ecological corridor that allows development and retention of local wildlife to flourish and develop.
- H. The adoption of site-wide streetscape guidance. (to be developed as part of 1st stage).
- I. Lighting needs to support a safe and public environment without cluttering the street or open spaces. Brighter lighting could focus on sporting facilities, whilst more subtle lighting integrated in the greenery along footpaths.



The new development to the west of the park fronting onto a wildlife pond



Heybourne park as a large open space offering relief for the current estate

DESIGN GUIDELINES - CENTRAL CHARACTER AREA

C1. Heybourne Park (Fixed Open Space)

At the edges of the park, mansion block typologies should frame the open space and in turn encourage permeability and enrichment of the park boundaries, clearly expressing the space as a shared public amenity. New play spaces will be strategically convenient near amenities and green routes, visible from afar. Investment in the park and the existing assets should develop a games area with joint social area, and younger play on the slopes close to the children's centre.



Streets that provide opportunities for civic activities such as play days and small markets. (Barking Town)



Play areas as focal points in the topography, placed close to the children's centre and along school routes. (Norwood Park, Lambeth)



Investing in the existing youth club, football foundation, and children's centre, by extending the games area for provide a social space, exercise equipment and play for other age groups. (memorial MUGA, Newham)

C2. Corner Mead Landscape (Fixed Open Spaces)

The existing energy centre has the potential to host outdoor community facilities. Through reuse of the existing roof structure, simple interventions could enable an elevated games area on an otherwise wasted roof space. The visibility of this space from the east-west green route that links the existing schools, college, and amenities would provide a space that could be shared by children and young adults. Within the adjacent undulating landscape, spaces of varying height may also provide opportunities for play and repose, for example a sunken planted bed with raised walkway and play elements.



A simple planted bed with walkway access set within a courtyard



The existing sunken path leading to the energy centre



A rooftop space as a games area, the potential of the energy centre roof. (NL Architects)

C3. Pocket Park (Unfixed Open Space)

The location of the pocket park should respond to the need for accessibility to play, but should also harness the benefits of existing amenities, such as clusters of trees and existing green landscapes, strategically connected to proposed green routes. The landscape could be undulating grass, with a simple track set within planting to provide for bicycle riding, using the dramatic changes in topography from the existing estate as the basis for play.



Play equipment made from both natural and off-the-shelf elements, with hillocks and trees



Route between the existing college and the energy centre forming a school route connection



The undulating landscape provides a place for bikes and race tracks set within a cluster of planting and trees

Public Realm Principles

Play

Play should respond naturally to the undulations and contours of existing green landscapes in the Central Area, providing a mix of environments and experiences to provide for varying age groups, particularly where different ages will gather around amenities and green routes, such as Heybourne Park.



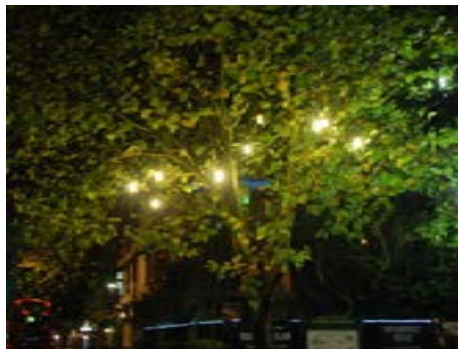
Planting

Large clumps of mature existing trees, planted tree pits, creeping planting along boundaries, mixture of shrubs and flowering plants will encourage biodiversity. The Central Area is pivotal in establishing the site-wide strategies, critically setting in place the routes and infrastructure to create the Green Spine and other green routes. Ecological corridors should foster local wildlife to flourish and develop.



Lighting

Lighting should be building-mounted on the High Street to free the pedestrian areas of public realm clutter. Selected key buildings, existing and new, could be uplit to help with wayfinding at night time and form a visual backdrop to more normative street lighting. Lighting in open spaces should be subtle but strategically integrated to ensure safe and accessible pathways and sports areas outside of daylight hours.



Furniture

Furniture should respond to and acknowledge the civic and communal uses adjacent to them. In this sense the furniture and public realm should be regarded as an extension to the life inside public buildings, an external lobby as such, reiterating their use. Acknowledgement to the history of the site should exist beyond simple signage and support the narrative of the history of the site.



4.8.2 QUALITY OF STREETS

This section describes the qualitative elements of the central character area regarding streets and their associated parameters. This area sets up the infrastructure foundations for all following phases and guiding principles that will knit the new development into the surrounding neighbourhoods.

The new bus route will be implemented between Lanacre Avenue and Corner Mead, alongside the large green Neighbourhood Park and via the Central Hub.

The Avenue provides an attractive route centrally through the site, following the Green Spine, linking green spaces, bus routes and neighbourhood hubs. Other smaller streets, such as the Lanes and Residential Streets link east/west, providing green and quiet routes between the Boundaries, the Avenue and Heybourne Park.

All road layouts are illustrative and are subject to traffic modelling, to be used to support future planning applications.

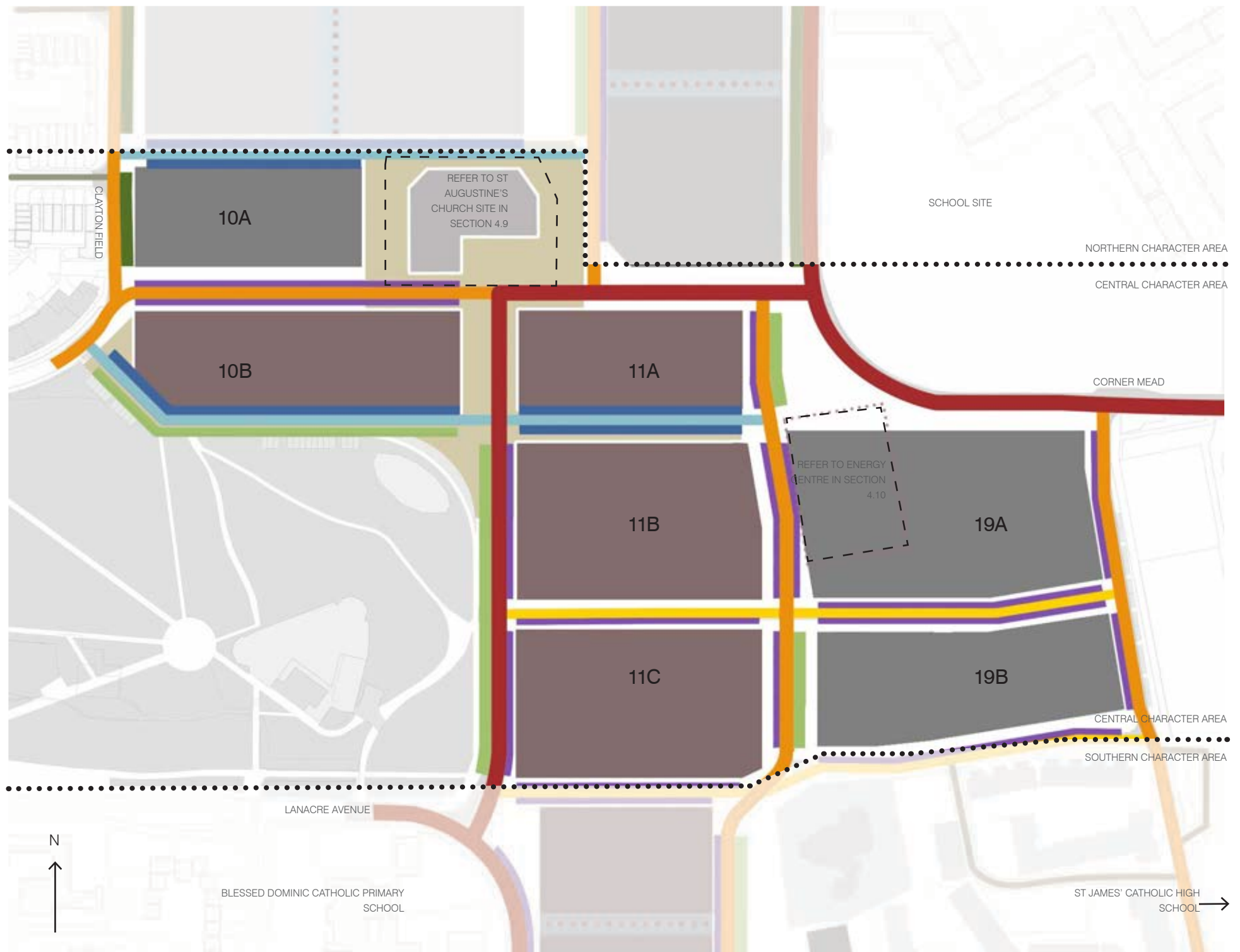















Figure 4.8.2 - Combined Parameter Plan for Character Area Street and Parking Strategy

Key (Refer to Sections 3.5 & 3.6 of the Development Framework)

- | | |
|--|---|
|  FIXED Primary Routes |  Bay parking along green edges |
|  FIXED Secondary Routes / Avenues |  Bay parking along boundaries |
|  FIXED Tertiary Routes / The Lanes |  Parking as per FIXED Residential streets Type A and B |
|  FIXED Residential streets Type A or B |  On-plot parking condition - predominately podiums & rear courts |
|  UNFIXED Residential streets Type A or B |  On-plot parking condition - predominately rear courts & private rear gardens |
|  Parking as per UNFIXED Residential streets Type A or B |  On-plot parking condition - Minimal On-Plot parking. Predominantly private rear gardens |
|  On street parking | |



Primary Routes / Community Hub

The main bus route through the site intends to link Lanacre Avenue with Corner Mead through the central community hub. Due to its location and likely higher footfall, this will be a strong and valued route for both vehicles, cyclists and pedestrians and should therefore be characterised by a strong street scape with careful attention to proportion, surfaces, road safety, street furniture and planting arrangements along the street.

The route passes north/south, from Lanacre Avenue alongside the enhanced Neighbourhood Park, through the community hub, then turns to pass St Augustine's Church site with new public square at the base of the Northern Woodland Walk, and continues east along the Green Spine to meet Corner Mead, beside the enhanced green landscape beside the energy centre site.

In connecting the south and north Avenues, the Green Spine aligns with the Primary Route, which should be pronounced with additional planting, integrated cycling accessibility and generous public realm.

The above illustration is indicative of the intended character of the Central Neighbourhood Hub and Primary Bus Route connecting through it.

PARAMETER	DESCRIPTION	Maximum
A	Carriageway Two way with allowance for buses and cycling integration	7.3m width
B	Parking - Parallel parking max 3 spaces together - Green edge bay parking with pedestrian buffer to road. - Of different material to road surface.	2.2m width 5.8m width
C	Planting - Planting & trees between parking spaces - Planting / bollard strip behind bay parking - Attention to existing mature trees, and solitary tree planting - Integrated planters on Green Spine and community hub (refer also to section 4.8.1 guidance on planting)	
D	Pavement Between parking and front gardens (D1) Wider through community hub (D2)	3.1m width 6m width
E	Front Gardens Enclosed front gardens & integrated bin stores	2m width
F	Proportion 1:1.5 (frontage height : frontage separation) Top storey to be set back, additional to 'frontage height'.	1:1 - 1:1.5
G	Refuse Refuse storage in front gardens and entrances, collected from street	
H	Road surfaces Mixed material palette for each use, defined by kerbs (H1) In community hub, located between Non-residential uses, approach to surfaces should consider traffic management measures to maximise accessibility, road safety and coexistence of pedestrians and cyclists, alongside buses and other traffic (H2).	



Prioritising pedestrians in community hub, New Road, Brighton



Overlooked hardscaped public space Brightonsea Place

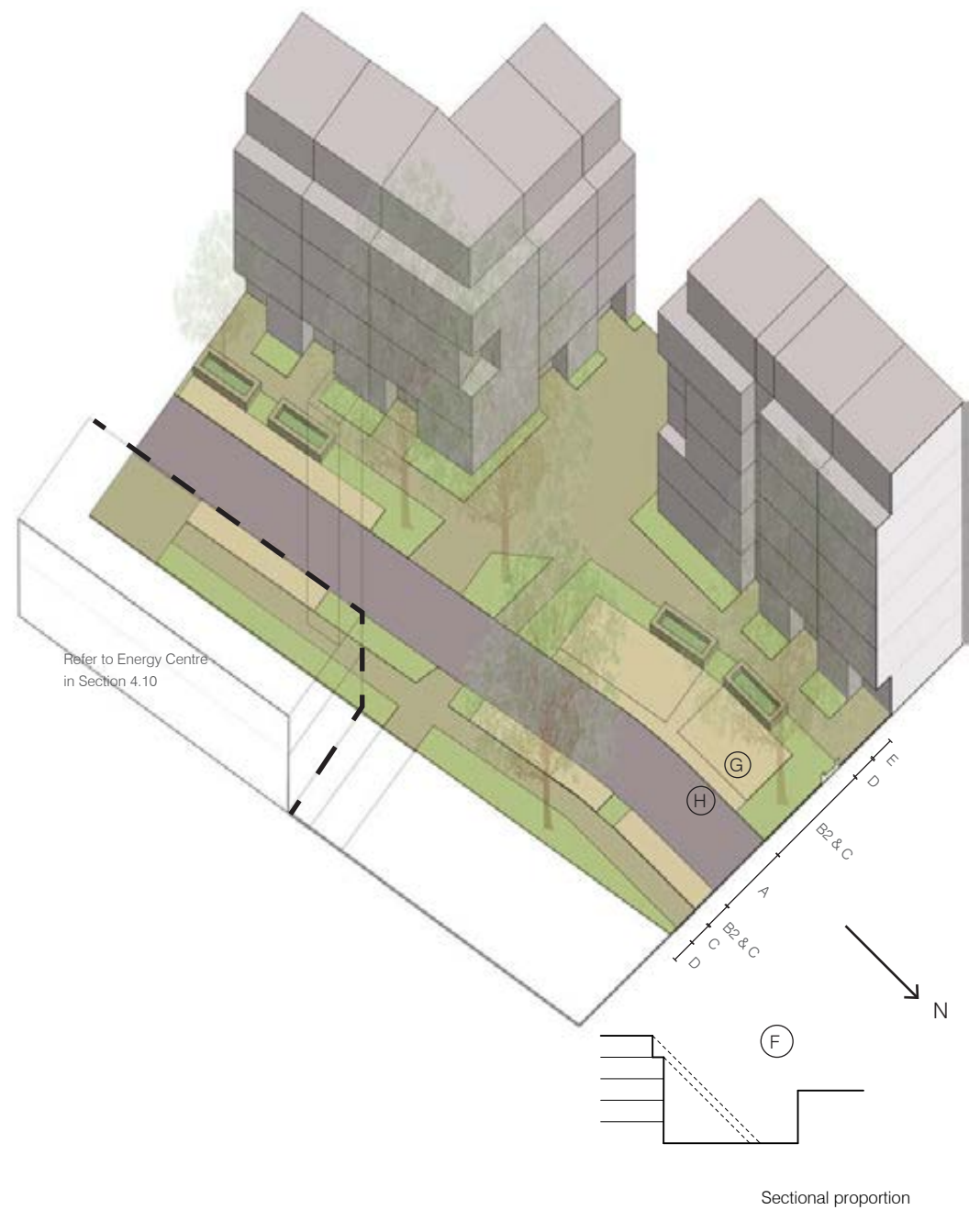
Secondary Routes / Avenues

The Avenue provides a key link through the site between the north and south Character Areas and associated public green spaces, winding along the Green Spine to also link up valuable infrastructure and community hubs. The route integrates parking along its route where appropriate and generous amenity width for additional planting and retention of mature tree lines and clusters on the Green Spine.

PARAMETER	DESCRIPTION	Maximum	
A	Carriageway	Two-way continuous linear route primarily north/south	5.5m width
B	Parking	Predominantly double sided parking, with some bay parking adjacent or opposite public open space, allowing for retention of mature trees where possible	2.2m width
C	Planting	Trees in line every 3 parking spaces, and planting strip alongside public realm. See planting in Section 4.8.1	2m width
D	Pavement	Between parking and front gardens	2m width
E	Front Gardens	Enclosed front gardens & integrated bin stores	2m width
F	Proportion	Ranging between 1:1.5 and 1:2 (frontage height : frontage separation). If top storey set back, additional to 'frontage height'.	1:1.5 - 1:2 ratio
G	Refuse	Refuse storage in front gardens, collected directly from street	
H	Road surfaces	Mixed material palette for each use, defined by kerbs	



Existing route alongside the energy centre, Long Mead, Grahame Park



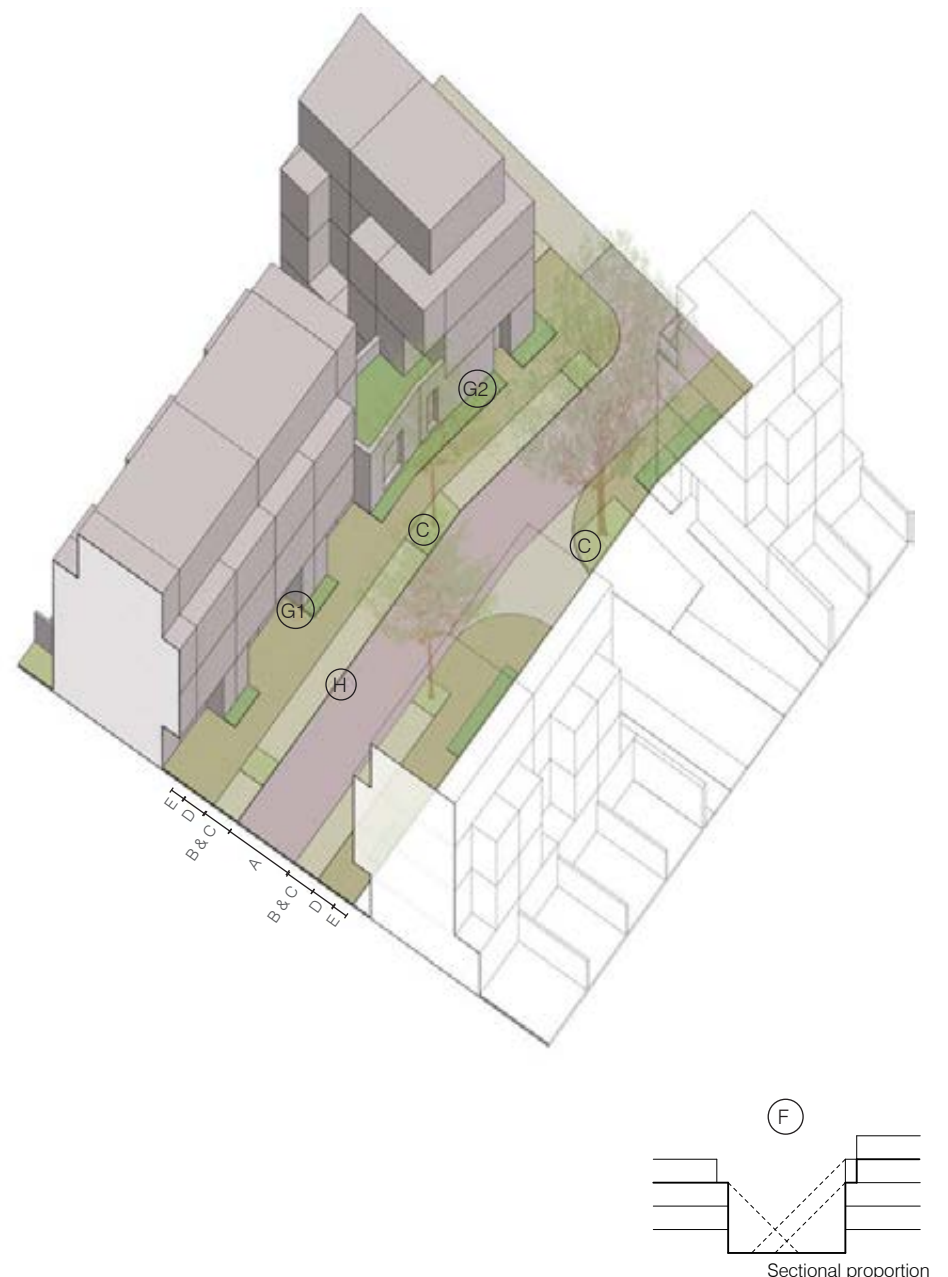
Tertiary Routes / Lanes

Winding roads that span latitudinally across the site east/west to create the grid of blocks typical of the central area, linking nearby routes, open spaces and schools to The Avenue, bus route, park and community hub.

PARAMETER	DESCRIPTION	Maximum	
A	Carriageway	Two way informal cranked routes linking east/west across site to avenue.	5.5m width
B	Parking	Parking integrated with informal tree planting	2.2m width
C	Planting	Trees in line parking at irregular intervals, on bends and on green routes	
D	Pavement	Between parking and front gardens	2m width
E	Front Gardens	Mix of informal planting buffers & front gardens	1-1.5m width
F	Proportion	Varying along route from approx 1:1.5 to (frontage height : frontage separation). Top storey to be set back, additional to 'frontage height'.	1:1.5 ratio
G	Refuse	Within front gardens (G1) or inset entrances (G2), collected from street	
H	Road surfaces	Mixed material palette for each use, road defined by kerbs	



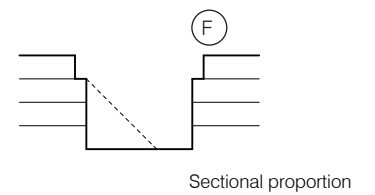
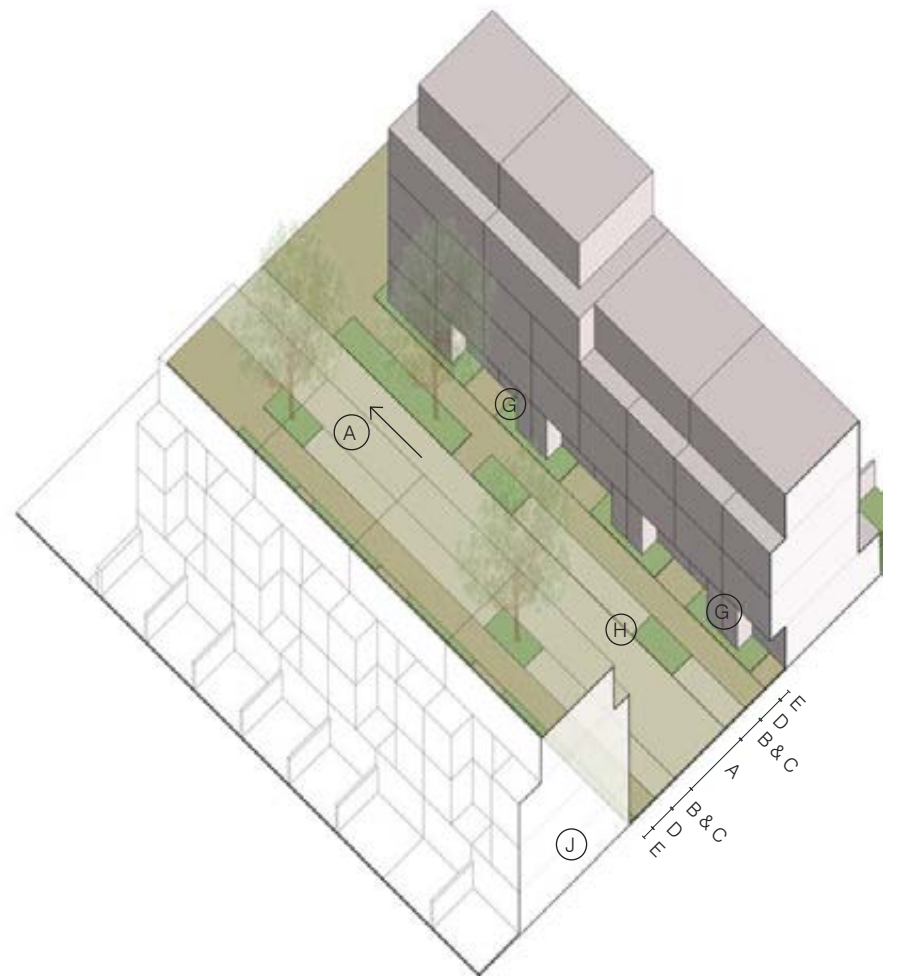
Winding local lanes at The Methleys



Residential Streets Type A

Local one-way street that can be used to further divide plots if necessary, with minimal level changes to encourage a neighbourly character for safe play, slow speeds and integrated parking.

PARAMETER	DESCRIPTION	Maximum
A	Carriageway Local route with slow moving traffic.	4.5m width
B	Parking Parking single or double sided (B1 and B2). Where adjacent to Heybourne Park, Public Open Space would replace buildings shown (J), with green edge bay parking.	2.2m width
C	Planting Regular trees spaced within the street, between parking spaces	
D	Pavement Adjacent to front gardens / green strip	2m width
E	Front Gardens Planted buffer strip to buildings	1- 1.5m width
F	Proportion Approx 1:1.5 (frontage height : frontage separation). Top storey can be set back, to be additional to 'frontage height'.	1:1.5 ratio
G	Refuse Incorporated into inset entrances, collected from street	
H	Road surfaces Limited material palette for each use, flush together with no raised kerbs	

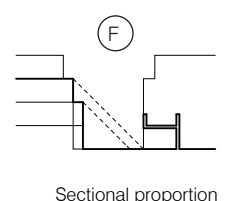
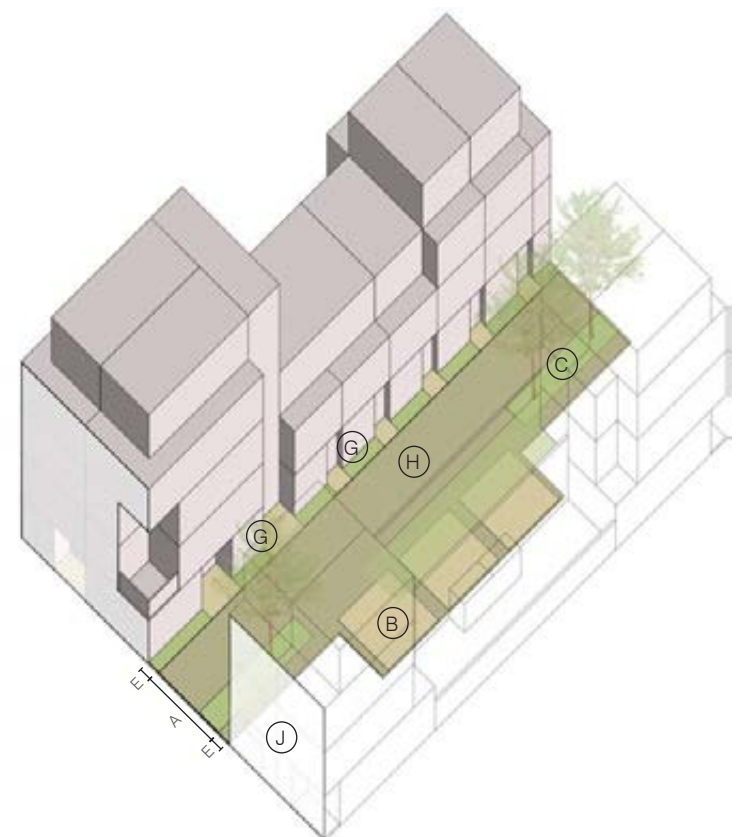


Local street with minimal level change, allowing for safe play and slow speeds

Residential Streets Type B

Narrow shared surfaces prioritising the pedestrian, located on the green route from Corner Mead via the Energy Centre and Avenue through to community hub and park. Shared surface should encourage multi-use of space and community interaction.

PARAMETER	DESCRIPTION	Maximum
A	Carriageway Narrow shared surface for continuous pedestrian route	8m width
B	Parking Bay parking single sided or in open undercroft beneath end gardens. Where adjacent to Heybourne Park, Public Open Space would replace buildings shown (J), with green edge bay parking.	
C	Planting Green planting strips where possible for at least 1 tree, seating and small scale integrated play	
D	Pavement Integrated to give priority to pedestrian routes	
E	Front Gardens Minimal privacy buffer defined by planting or surface change, for plant pots, seating etc local to dwelling etc.	0.5 - 1m width
F	Proportion 1:1 - 1:1.5 (frontage height : frontage separation) on frontage units. End units will relate to rules of adjoining street.	1:1.5 ratio
G	Refuse Incorporated into inset dwelling entrances. Refuse vehicle to travel along street for collection	
H	Road surfaces One material for shared surface, no kerbs or other level change	



ICON, Street

4.8.3 QUALITY OF REAR COURTS & GARDENS

This section describes the quality of rear courts and gardens in the Central Character Area, setting out the character for amenity space, parking, planting, boundary treatments and refuse strategy.

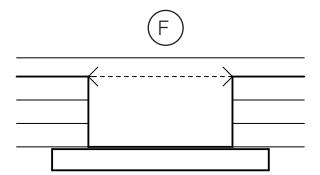
Podium Parking and Shared Garden

Within a development block, the podium garden relates to the street on one side with parking beneath, the main building frontage overlooking green space.

PARAMETER	DESCRIPTION	Minimum	
A	Location	From secondary street (A1), block fronting green space (A2)	
B	Parking	Bay parking located beneath podium and under units	
C	Boundary	Continuous visually permeable boundary wall with planting	
D	Gardens	Mix of hardscaping, planting, seating and small scale play on raised garden level, with protected lightwells down to parking. Ensure ability to access & overlook boundary wall to street.	
E	Planting	Ensure at least 1 tree protrudes from ground level to podium garden level. Other plants used to green boundary at ground level and hang over from podium garden level	1 tree
F	Privacy	21m between habitable room windows, unless design considerations allow.	21m
G	Private amenity	Minimum garden/balcony depth to align with LHDG. Permeable boundary treatments to integrate with communal garden	1.5m width
H	Refuse	Refuse store located within podium adjacent to street boundary, accessed directly from street	



Raised shared courtyard & integrated planting, Podium at Bath Western Riverside

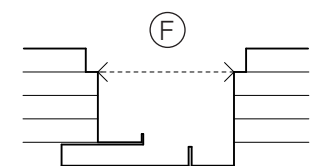
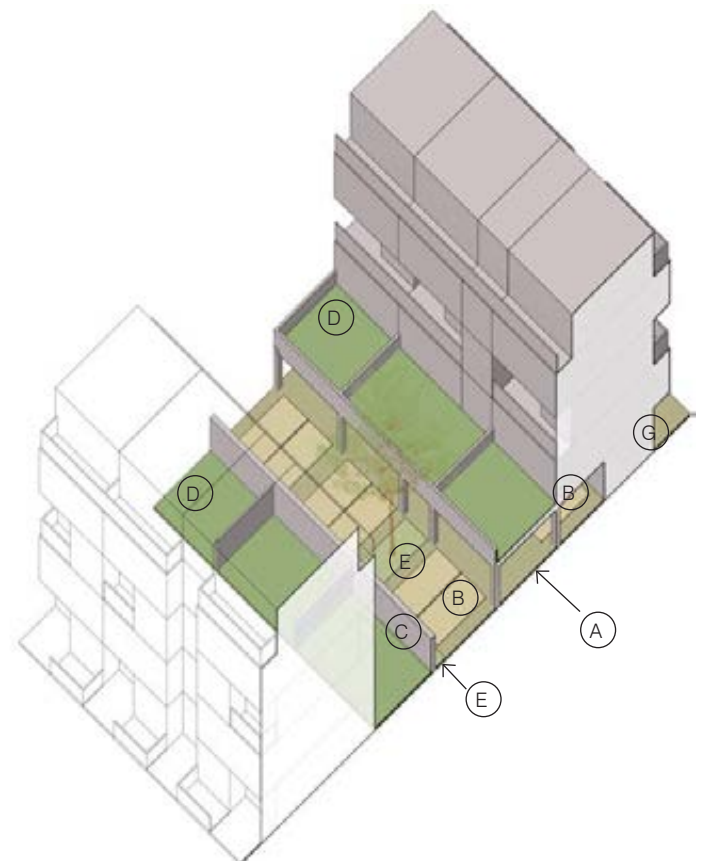


Sectional proportion

Rear Courts & Raised Private Gardens

Along the rear of building lines, particularly park frontage typologies, parking is provided in a rear court, partially covered by raised gardens.

PARAMETER	DESCRIPTION	Minimum	
A	Location	Positioned along rear of continuous building lines, with access through the gable end of the building line	
B	Parking	Bay parking located beneath units and opposite against adjacent garden walls	
C	Boundary	Bound by continuous building line, rear garden wall to opposite units and end walls for access. Refrain from locating rear gates unless essential to access parking or bin storage.	
D	Gardens	Length of ground based gardens of minimum depth to allow for rear parking court. Raised gardens are private to adjacent unit, covering no more than 50% of rear court area.	5m depth
E	Planting	Ensure tree planting between bay parking to protrude above raised garden level. At least 1 tree between every 6 spaces. Planting strip along line of rear wall for maximised greenery	1 tree 1m width
F	Privacy	21m between habitable room windows, unless design considerations allow.	21m
G	Refuse	Refuse store located at ends of courts adjacent to street boundary, accessed directly from street.	



Sectional proportion



Raised private gardens, Be, Newhall

Public Realm Details

The treatment for more detailed street design elements, such as thresholds, shared surfaces or parking are set out below. The approaches set out here are considered appropriate and encouraged for this Character Area. All detailed designs for streets and public realm should refer to local and best practice guidance such as Manual for Streets, Manual for Streets 2 and TFL guidance, such as London Cycling Design Standards.

Connecting the Green Spine

The central area has an important role to play in linking the green spaces through the heart of the site, from the Woodland Walk in the south to the Village Green in the north.

The mature trees that form this connection along existing Long Mead which becomes the Avenue need to be supported by generous planting to ensure a continuous and pleasant route for walkers and cyclists the full length of the site. The same ethos should be continued through other green routes for public amenity.



Generous planting along a linear route, Percival Triangle, Islington

Green Edge Parking

Parking should appear as a different surface to the road itself to ensure the visual effect of the road is minimal.

Bay parking should integrate with pavements and green edges, with informal surface finish such as resin-bond or grit, and integrated planting.



Parking between trees on shared gravelled surface, visually separate from road treatment, ICON, Street

Surface Treatment

Surfaces that abut the non-residential frontage in the central community hub need to provide for a range of integrated and inclusive activities, with high material quality and spacial amenity.

Smaller shared surfaces in mews streets should allow for safe, overlooked play by children and neighbourly interaction with some planting and seating, as well as integrated parking.



Safe, shared communal space, Van Gogh Walk, Lambeth

The Hub

The hub will be formed of a main high street, through which buses and other vehicles will pass, and a public square adjacent to St Augustine's Church, at the base of the northern green spine.

These areas should allow outspill space from cafes, shops and community facilities, waiting areas for buses, walking and cycling routes through, and principally safe hardscaped surfaces with pleasant planting and furniture in clusters for both solitary and social enjoyment.



Integrated shared surface public realm, New Road, Brighton

Garden Details

Front gardens

Defined gardens should be clear with secure but permeable boundaries, sheltered entrances and opportunities for planting.



Defined front gardens with permeable frontage for planting, Hammond Court, Waltham Forest

Privacy Buffers

Privacy buffers should incorporate planting and space for seating, pot plants etc., and inset entrances to ensure defensible space.



Inset entrances and deep planting buffers, Accordia, Cambridge

Bin Storage

Integrated into all private enclosed front gardens, and any parking entrances. Should be accessible for ease of refuse collection, but subtly integrated into the facade / boundary treatments.



Bin storage located behind wall in front garden, Hammond Court, Waltham Forest

Bike Storage

Integrated garages or rear parking courts where applicable. This is as a preference to cycle storage in front gardens, so that private cycle storage should be incorporated and access allowed for through the dwelling.



Bike storage located within rear gardens in secure location, Icon, Street

4.8.4 QUALITY OF ARCHITECTURE

Massing, Height & Urban Design

The Central area consists of many elements all of which aim to tie the distinct character areas of the north and south. At the same time it aims to enhance the existing elements of Grahame Park, St. Augustine's Church site, the existing energy centre, and strengthen access between Schools, green spaces and other neighbourhoods from east to west.

A key part of this area will be the high street and community hub at the heart of the scheme. This will consist of local retail space whilst providing a number of community facilities, and acts as an entry point into the northern area. Similarly the Energy Centre site provides opportunity for Community and Sports provision, to be confirmed. For more detail on St Augustine's Church site and the Energy Centre, see Sections 4.8 and 4.9.

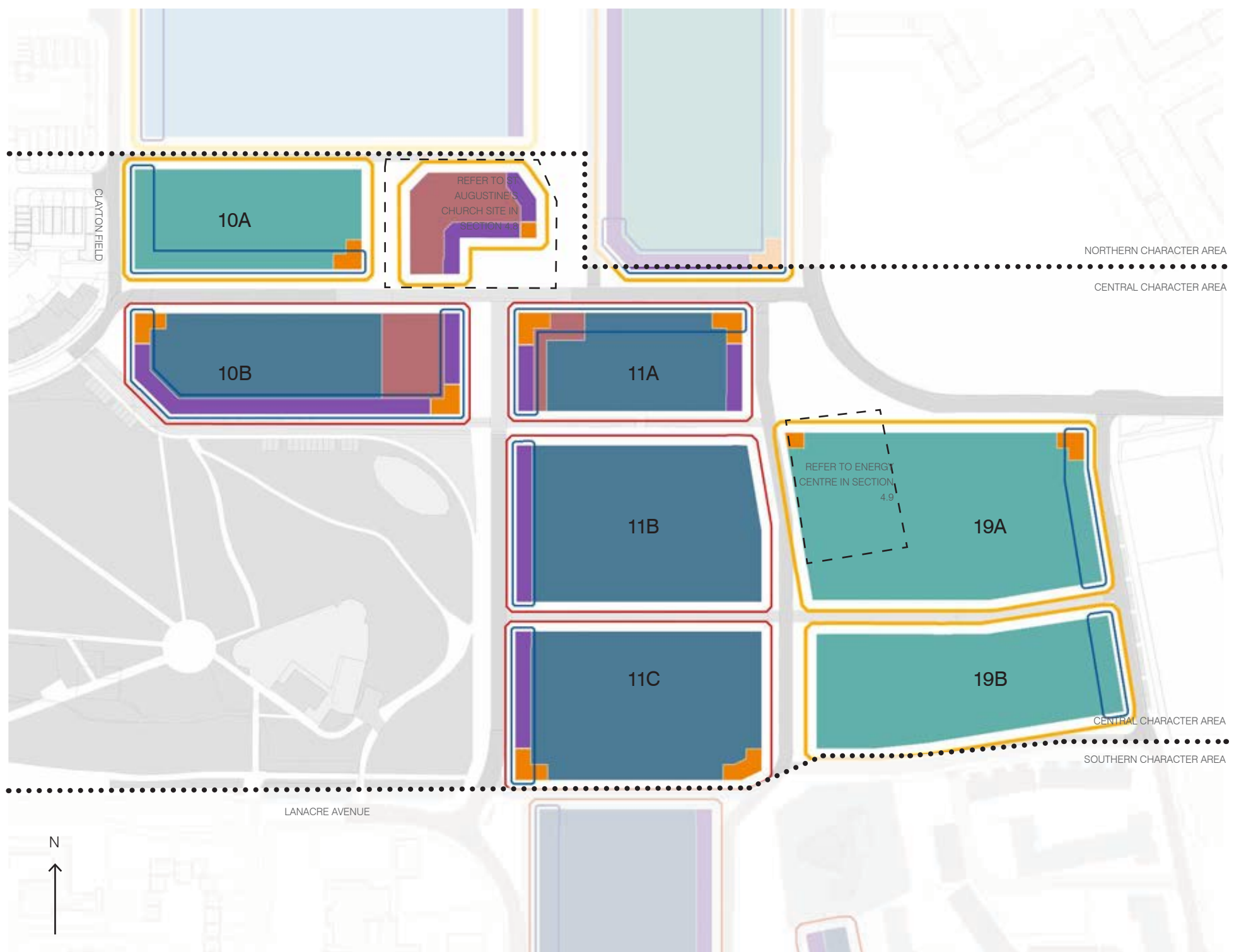


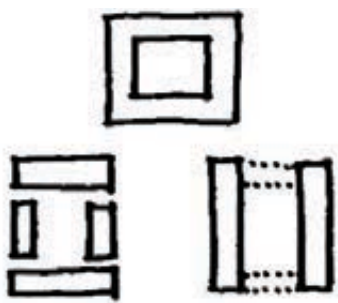
Figure 4.8.3 - Combined Parameter Plan for Character Area Heights, Density and Residential Typologies

Key (Refer to Sections 3.7 & 3.8 of the Development Framework)

- | | |
|--|--|
| General block heights - Low (typically 3 storeys) | Predominantly mansion block typologies (stacked maisonettes with flats above) |
| General block heights - Medium (typically 4 storeys) | Mixed typologies (maisonettes, flats and houses) |
| General block heights - High (typically 4 to 5 storeys) | Predominantly traditional terraced typologies (terraced family houses) |
| Key frontage locations | Locations for continuous plot frontage |
| Prominent Corners and Nodes locations | |
| Non-residential uses | |

Massing & Form

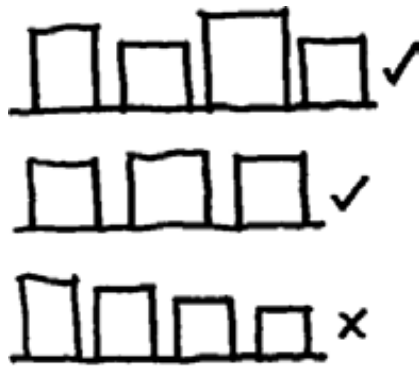
The block should have a form and mass that strongly defines its perimeter and edges.



Recognisable block massing, Olympic Village, Stratford, London

Relative Heights

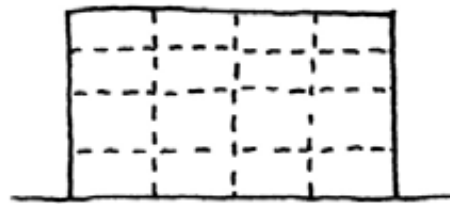
Heights of adjacent blocks should give variety along frontage. Arrangement should not follow a staircase form.



Variation in heights, not staircase formation, St Andrews, Tower Hamlets, London

Typologies

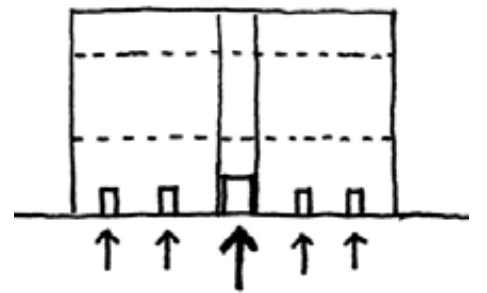
A mix of flats and maisonettes allowing for higher densities than the north Character Area but less than the south Character Areas.



A mix of flats and maisonettes, Waltham Forest, London

Entrances

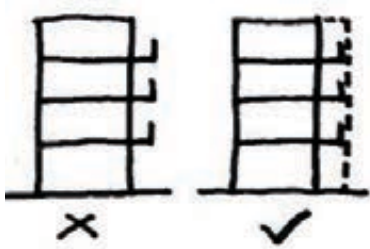
Generous and spacious entrances for communal lobbies. All ground floor dwellings to have private entrances accessed directly from the street.



Hammond Court, Waltham Forest, London

Deck access

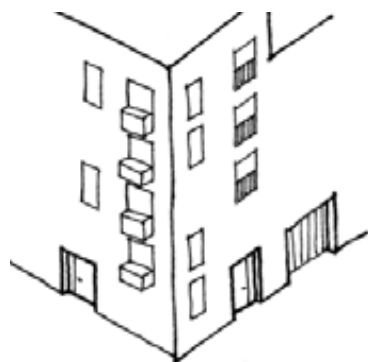
Deck access layouts need concealing behind a rear facade. A core should not serve more than 8 dwellings on each floor.



Hammond Court, Waltham Forest, London

Corner Treatments

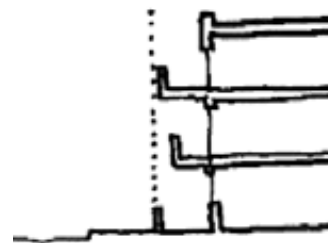
Corners need to use elements like entrances, balconies and fenestration to articulate corners and ensure overlooking and animation on both street facades.



Accordia, Cambridge

Private Amenity Space

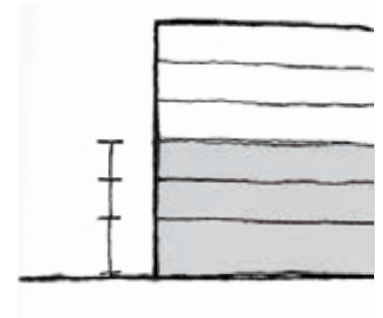
Balconies should never protrude beyond the dwelling's front garden or planting buffer line. Therefore the size of balcony is proportional to the defensible space at ground level, according to each street type.



Prominent, lively frontage, Adelaide Wharf, Haggerston

Non-residential provision

All non-residential provision to be located at lower levels up to 3 storeys. Retail to be located at ground floor level only. Upper levels to provide for residential accommodation.



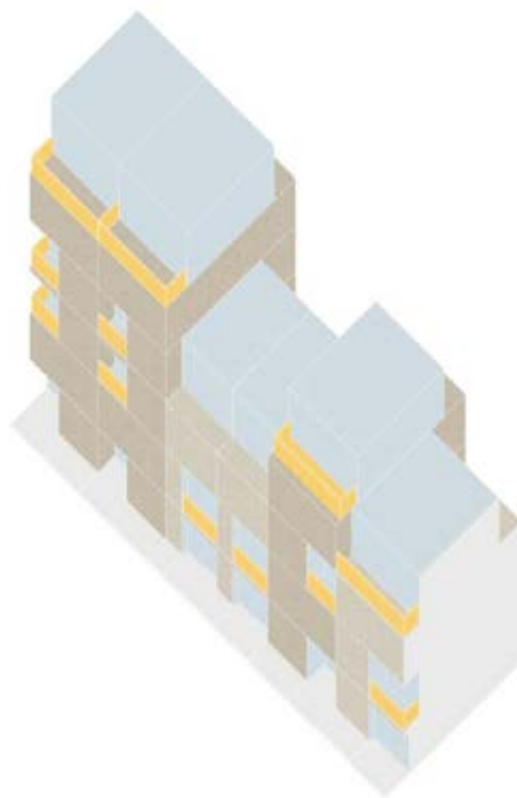
Multi-storey non-residential accommodation with residential above, Lisson Grove, London

DESIGN GUIDELINES - CENTRAL CHARACTER AREA

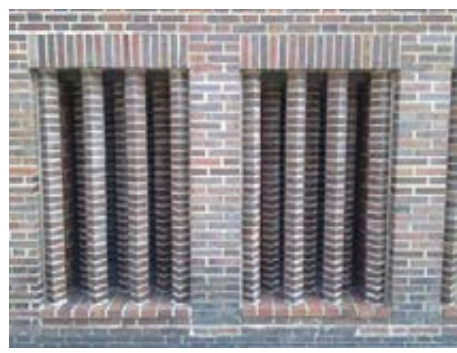
Typical Block Character

The general facade and block treatment to the central area should look to tie together differing scales between the northern and southern character areas. They should be appropriate to the density, height and typology as described in this section and the Development Framework. Whilst they are described as 'background' buildings, the Typical Blocks form the majority of the built character, and as such are of no less quality or importance in creating the urban and architectural character of the neighbourhood.

- Simple orthogonal buildings
- High quality through simplicity
- Refinement in detail
- Collectively define the urban block
- Profiled frontage and height variation
- Inset balconies and roof terraces
- Up to 2 materials of similar tonal combinations, to vary within the block. These materials should be used consistently for whole blocks or stacks, not as feature panels.



Mixing typologies, Leidsche Rijn



Singular materiality but refinement in details. Hamburg



Singular materiality and orthogonal buildings, Shoreditch Park, Hackney

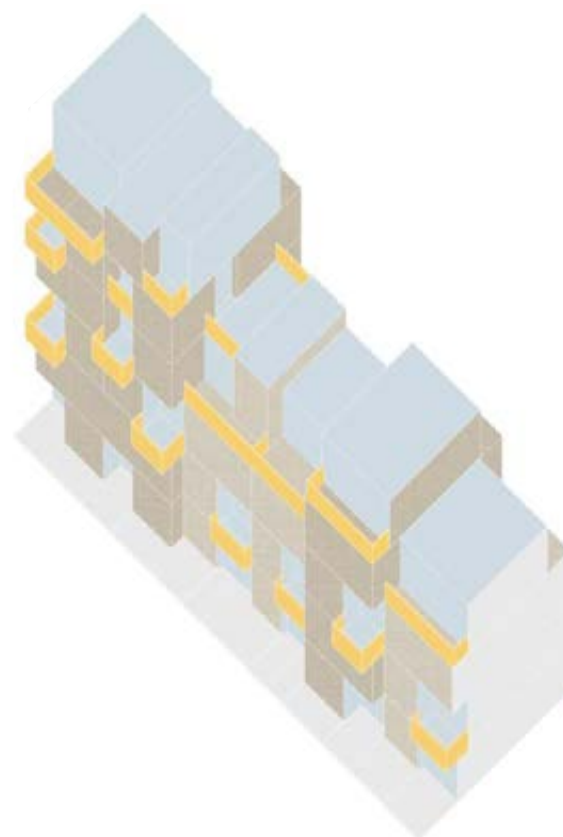
Key

- One predominant materiality
- Facade articulation (intrusions, relief, insets)
- Features (protrusions, balconies, bays)

Key Frontage Character

The key frontages are located facing onto the Neighbourhood park and should form a key relationship with this space. Building heights may be taller here and flatted accommodation may be provided above maisonette accommodation. The buildings should be of high quality with more vibrancy – they should follow a similar language to the typical block character but with scope for more varied materials, accent colours and façade articulation.

- Facade treatment that relates to public green space
- Allowance for informality and articulation of building line or roofline
- Terraces to upper floor
- Pronounced expression of balconies
- Scope to change in material colour to elevations within a consistent material palette
- Maximum of 2 common materials of similar weighting to façade, with opportunities for accent colours.



Prominent, lively frontage, Adelaide Wharf, Haggerston



Articulation of building line and varied material colour within palette. Leeuwenveld



Scope for additional materiality on key frontages, Hillington Square

Key

- Scope for additional materiality
- Facade articulation (intrusions, relief, insets)
- Features (protrusions, balconies, bays)

Prominent Corner Character

These blocks are located at corners that form strategic vistas and orientation points. It is important that the building responds to this and may contrast to the other block characters.

- Allow for material of contrasting colour and/or mineral material
- Identification in height to a maximum of 2 storeys above the general height of the block
- Articulation of building elements such as fenestration, solid and void, balconies or ground floor treatment
- Openings to respond to specific vistas and the role of the building in turning the corner, taking advantage of multiple aspects and approaches
- Break from order of typical elevational order of the typical block.



Feature corner with material integrity, Seoul, OBBA



Articulation of building elements on the corner block, Accordia Brass Building

Key

- Contrasting materiality
- Facade articulation (intrusions, relief, insets)
- Features (protrusions, balconies, bays)

Typical Material Palette

The material palette for the central character area should be a blend of the Northern and Southern Character Areas. The two palettes should be brought together, used for different buildings or frontages within a block, or as a consistent mixed brick palette across whole blocks.

The following principles describe the base palette to which various colour accents may develop from:

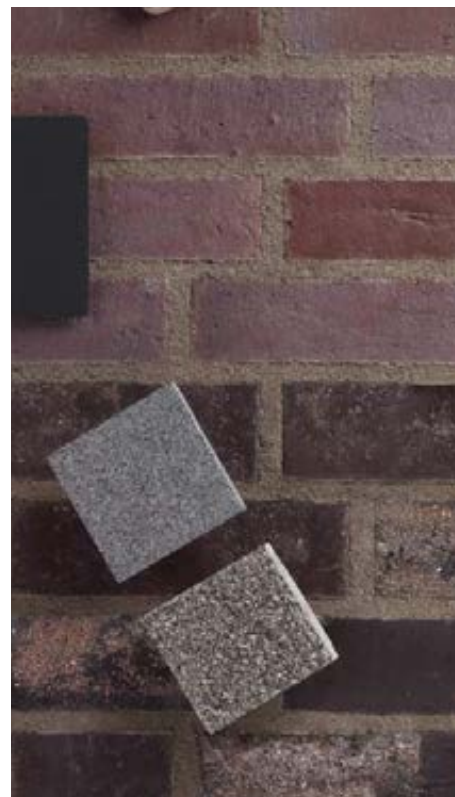
- Predominantly brick/masonry finishes
- Timber metal composite windows
- Secondary finishes of reconstituted stone or concrete.



Blending the two material palettes. Kidbrooke



Combinations of lighter and darker brickwork



4.9 ST AUGUSTINE'S CHURCH SITE

The SPD allows for all community uses to be located on Plot 10C, St Augustine's Church site. In this event, the redevelopment of the St Augustine's Church will be a focal point at the heart of the regeneration of Grahame Parke and will provide vital social infrastructure and community facilities to the adjacent neighbourhoods and wider surrounding area.

- The site has the potential to incorporate a mix of community uses such as Church and Community Facility, Health Centre, Children's Centre and associated commercial space such as a cafe, as well as residential development. This combination of uses is set out in the Development Framework section of this SPD
- The character and quality for green spaces and play provision must be adhered to, as set out in Sections 4.6.1 and 4.7.1 of the Design Guidelines
- In addition to the areas specified per green space within the Development Framework of this SPD, St Augustine's Church Site should provide a high quality area of public realm, predominantly hardscaped, to tie in with the Northern Woodland Walk, and recognise the relationship with the High Street and the Neighbourhood park. The character of this space should be focused around retention of mature trees, plus new large planters which continue the Green Spine and Green Routes through the site. Seating, lighting and other furniture should be well integrated into the space and planters
- The site should respond to its strategic location on a primary movement node within the redevelopment. Key relationships include the primary bus route linking Lanacre Avenue and Corner Mead, the secondary routes towards Heybourne Crescent and the Avenue travelling both north and south, and strong pedestrian routes between the fixed green spaces
- In terms of heights and massing, the plot itself is located between the Northern Character Area and the Central Character Area. The Church redevelopment should present a massing of minimum 4 storeys, maximum 6, with a prominent corner element adjacent to the public realm which has the freedom to reach 8 storeys (refer to 3.6 Building Heights and Density). This should be a point height, envisaged as the church spire. Key frontages should respond to the fixed areas of Green open space and public realm
- The architectural character and quality should take account of that proposed in Section 4.7.4 for the Central Character Area, but a unique, innovative approach to this landmark site will be welcomed, and with the exception of the building height, guided by the criteria for prominent corner blocks in section 4.7.4.



Illustrative massing for new building

Key (refer also to Sections 4.8.1 - 4.8.4)

- Medium building height (predominantly 4 storeys)
- Key frontages
- Prominent corners
- New public realm
- Retained / new green space



The existing church



Community focused mixed-use church, Green Lanes, Hackney



Shared public space overlooked by community facilities and residential uses, Square at All Saints Church, Notting Hill

4.10 ENERGY CENTRE

The Energy Centre is a long-standing feature of Grahame Park. The centre provides efficient energy for the residents, businesses and public services on the estate. The preference is to retain the energy centre, albeit, moneywise, to increase its efficiency and extend its operational life.

- The site has great potential to maximise non-residential uses in its internal volume and rooftop. With allowance for a new energy centre, the remaining internal space should maximise opportunities for sports provision, particularly ball games or other uses that suit large, tall internal volumes and daylight from above. On street level therefore, the building's envelope should be assessed to maximise the potential for openings to allow daylight into the volume within
- The building's roofscape should be maximised for community uses, with potential for a full extension to incorporate new sports and community facilities, once a building assessment has been carried out
- Any rooftop extension should bring the total height of the building above ground to a maximum of 2 storeys, with the top floor as a large open useable space, with minimal playful, permeable rooftop structures. The chimney for the energy centre has potential to increase this height as a prominent corner feature, up to 8 storeys above ground, positioned to relate to ground and above-ground play spaces and as a landmark on green routes
- The Green Route that links Corner Mead with the Neighbourhood park runs directly along the northern edge, and will need to be integrated with the undulating Energy Centre Landscape and proposed Fixed Green Space at this point. Good lighting, landscaping and street furniture will need to ensure a pleasant and safe landscape around the building during both day and night
- The Green Spine runs parallel to the site and therefore needs to give prominence to the public realm with mature trees and planting that will run along the adjacent street. The site also needs to relate to its prominent location on Corner Mead, a primary periphery bus route connecting to the local area
- Whilst respecting the Design Guidelines set out for the Central Character Area in section 4.7.4, a unique approach will be welcomed for the approach to this building's redevelopment, with a creative reinterpretation of the building's single storey massing and concrete facade detailing, with light and playful above ground extensions and interventions, as a community landmark.

If however, the energy centre is not retained, the site should either be:

- Developed for community uses proposed above; or
- Developed for residential purposes in accordance with the standards set out in this SPD, and the community facilities outlined above are provided elsewhere.

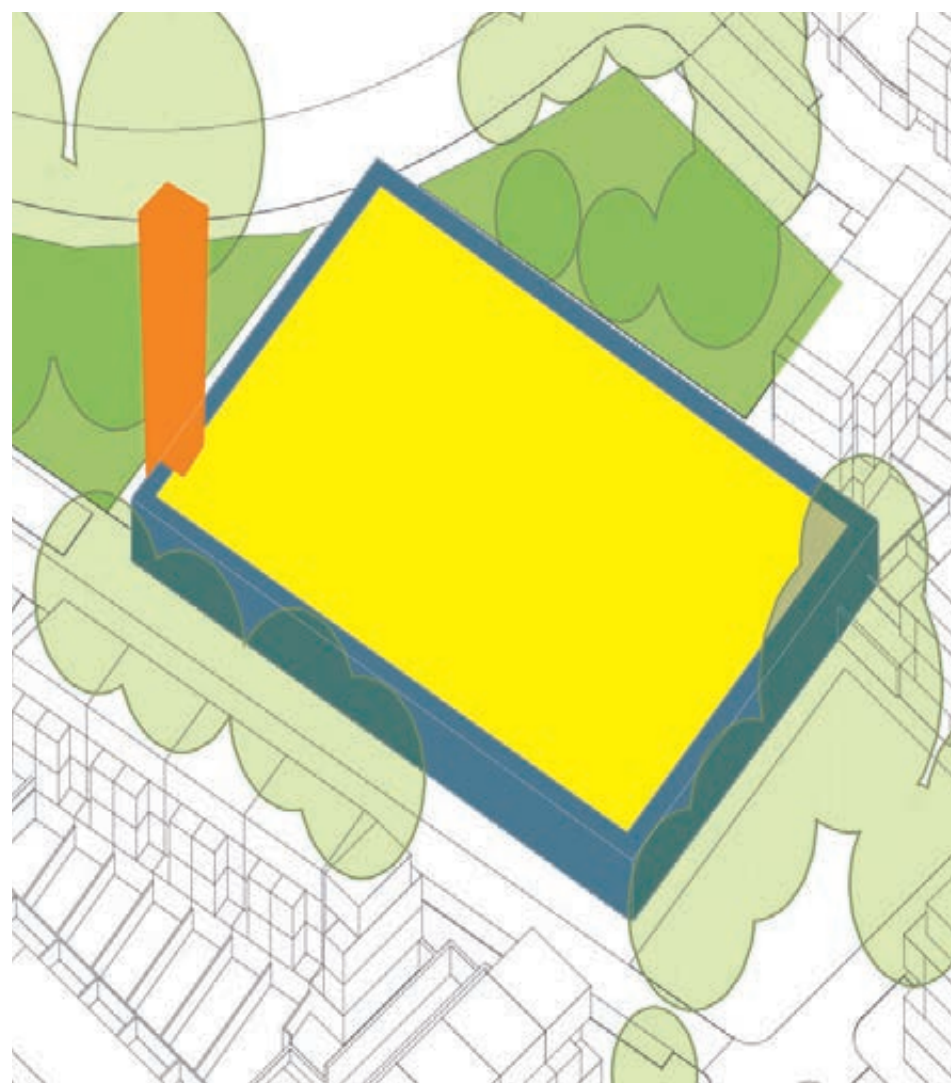
A new energy centre must be designed with capacity to serve the adjoining schools - St James, Blessed Saint Dominics, and the new proposed school on the former college site, taking account of their foreseeable growth.



Existing energy centre



Existing energy centre



Illustrative massing for new energy centre proposal

Key (refer also to Sections 4.8.1 - 4.8.4)

- Medium building height (predominantly 4 storeys)
- Key frontages
- Prominent corners
- Suggested play provisions
- Retained / new green space



Rooftop basketball court

5.0
DELIVERY



5.0 **DELIVERY**

This section shows how the Masterplan for Stage B has been broken down into development plots, the sequence in which development will take place, and how the various proposals contained in the Masterplan will be delivered.

The main freeholder of Grahame Park is the London Borough of Barnet. Under the terms of a Development Agreement with the Council, Genesis Housing Association will be the developer of Stage B of Grahame Park.

5.1 PROCESS AND PHASING

- i. The Council expects that Genesis Housing Association and any other agency or stakeholder will work with the Council to ensure that proposals are developed which will deliver Masterplan benefits such as infrastructure, public realm, open space and other services.
- ii. Where necessary, the Council will exercise its legal powers to compulsarily purchase land to enable development to occur. This will be a matter of last resort.
- iii. It is expected that applications for detailed planning permission will be submitted for phases of development as they come forward, with this SPD setting the framework for consideration of these proposals.
- iv. As explained in earlier sections, the philosophy of the approach to development set out in the Masterplan approved in 2007 has been adhered to in the SPD.
- v. The approach approved in 2007 was to identify:
 - the dwellings that would be retained;
 - the dwellings that would be demolished; and
 - any additional land that would become available for development.
- vi. The SPD has been prepared on a basis that is consistent with this approach. However, in order to deliver the coherent development of the estate in line with the principles contained in the SDP, it may be necessary to demolish some individual properties previously considered for retention.

5.2 THE PROPOSED PHASES

Phase 1: The Concourse

Plots:	10, 11 and 12
Number of dwellings:	Approximately 850 units

This is the first phase. This is a critical phase as the Concourse represents the key constraint affecting the future of Grahame Park.

The programme for the redevelopment must allow for the timely and coordinated replacement of the community facilities prior to the demolition of the existing facilities.

Phase 2: The North East Quadrant

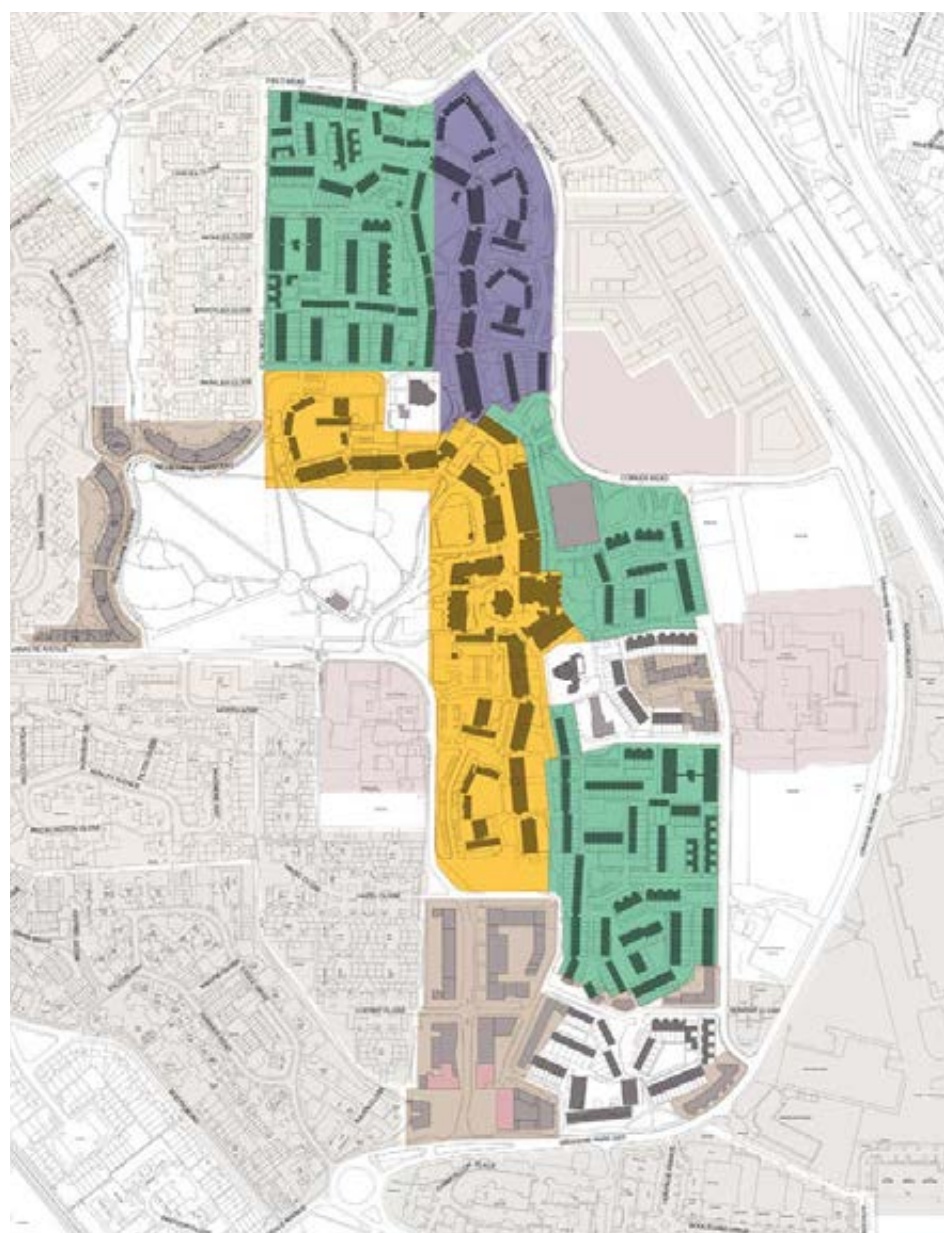
Plots:	13, 14, 15, 16
Number of dwellings:	Approximately 300 units

It is anticipated that this phase will be commenced as soon as possible to continue the flow of development after Phase 1. The Council will encourage this phase to be commenced in a manner that overlaps with the ending of Phase 1.

Phase 3: Retention and Renewal Areas

Plots:	17, 18, 19, 20, 21
Number of dwellings:	Up to 800 units

This phase comprises a number of plots in different locations within Grahame Park. The Council would require that development proposals within these plots should be brought forward as soon as is expedient.



Plan depicting Phases 1, 2, 3 of Stage B. For location of plots, see Land Use Plan, Section 3.2

5.3 CONSIDERATIONS

Affordable Housing

- i. For avoidance of doubt the SPD does not affect the Councils policy with regard to the rehousing of secure council tenants. This provides that:
- Secure council tenants housed before 1st April 2003, have a commitment from Genesis/LBB that they will be rehoused in a new home on Grahame Park; and,
 - Secure council tenants who were housed after 1 April 2003 will be moved by Barnet Homes by the time the properties are demolished but will not be rehoused in a new home on Grahame Park.
- ii. The s106 Agreement entered into at the time of the 2007 permission, and which is still binding on the developer, requires the provision of social rented units, shared ownership units, and low cost units.
- iii. In addition to this requirement, which relates to the replacement of existing accommodation, each phase of the development will be assessed in accordance with the Councils requirements for the provision of affordable housing in accordance with policies contained in the Development Plan.

Community facilities and retail space

- iv. The SPD is committed to ensuring that existing community facilities and retail space will be replaced and that the replacement accommodation will be available in advance of the demolition of the existing accommodation.
- v. The main element of replacement provision will be the Community Hub. The Councils preferred approach will be to locate the hub on the St Augustine site, and in this regard there are negotiations taking place with the Diocese of London.
- vi. Should these negotiations not reach a conclusion the next preference would be to locate the hub in Plot 10, immediately to the south of the St Augustine site

Highways & Parking

- vii. During the preparation of this SPD, planning permission has been granted for a number of strategic developments in the areas surrounding Grahame Park. As a result of these developments and the general growth taking place in Colindale, it is likely that there will be increasing pressure on existing residential parking facilities in areas such as Grahame Park. This will be generally mitigated due to the introduction of a Controlled Parking Zone (CPZ) which is being put in place to protect much of Colindale from worker and commuter parking. It is desirable that the CPZ would cover the adopted roads at Grahame Park and as detailed planning applications for future phases of Grahame Park come forward the implementation of a CPZ will be considered on a phase by phase basis.

Planning obligations

viii. A critical part of the Delivery of the Grahame Park development has been and will continue to be the need for the developer of the land to make financial and other contributions to secure:

- infrastructure required for the development;
- mitigate of the impact of the development; and,
- satisfy the requirements of other policies such as affordable housing.

ix. The s106 entered into at the time of the permission granted in 2007, included the following:

- provision of affordable housing;
- provision of open space, play areas, and their maintenance;
- financial contributions to highways improvements;
- contribution to CPZ;
- financial contributions to education provisions;
- delivery of replacement retail units;
- on-site provision of replacement community facilities;
- financial contributions to public transport;
- travel plan including incentives; and,
- employment and training;

x. The introduction of the Community Infrastructure Levy (CIL) legislation within Barnet now means that the Council is required to charge a levy on all planning permissions for residential and retail development which comply with CIL criteria. As each application comes forward, an assessment will be made as to the requirement for a contribution under towards:

- Physical Infrastructure;
- Social Infrastructure; and
- Green Infrastructure.

xi. Under Regulation 123 of the CIL Regulations, the Council is required to publish a list of infrastructure projects which will benefit from being either partially or fully funded by CIL. This includes the following project which will benefit Grahame Park and the surrounding area:

- the junction of Aerodrome Road, Colindale Avenue, and Grahame Park Way.

xii. As each planning application comes forward there will be a review of the extent to which a new s106 agreement is required in respect of that proposal due to obligations that would not be covered by CIL, or by planning conditions.

Relationship to masterplan

xiii. Each phase or plot of development will be supported by a Design and Access Statement which will include a section or sections which demonstrate that the provisions of the SDP have been adhered to including the Development Framework and the Design Guidelines.

xiv. In addition, the DAS will identify the following contributions to be made to the achievement of the Masterplan by the phase or plot through the provision or protection of:

- the appropriate level of affordable housing;
- elements of strategic infrastructure
- environmental features which need to be retained and enhanced; and,
- opportunities to improve the quality of community provision within the area.

Infrastructure delivery plan

xv. The planning application submitted in respect of each phase or plot will include as a minimum:

- Demolition and mitigation proposals;
- Biodiversity measures;
- roads, cycleways, footpaths;
- open spaces;
- public transport facilities as required;
- Highway alterations;
- Phase of energy-district system;
- SEA mitigation measures;
- Highway licence;
- Road safety Audit;
- Car park areas laid out before occupation;
- Car Parking Management Strategy;
- Hard and soft Landscaping proposals;
- Sustainability statement;
- Energy Statement;
- Foul and Surface Water drainage;
- Refuse and recycling proposals; and
- Construction Environment management Plan.

5.4 VIABILITY

- i. A viability analysis shall be carried out prior to the inception of each phase and submitted to the Council as part of the pre-application submission.
- ii. A viability analysis should demonstrate that the proposed development will:
 - support high quality improvements to public realm;
 - deliver the required amount of affordable housing;
 - deliver transport and movement improvements;
 - fund community infrastructure;
 - will overcome any phasing, technical constraints; and,
 - satisfy any other s106 and CIL requirements not covered by the above.

Energy and sustainability

- iii. All new development should meet the requirements of the London Plan in terms of reducing carbon dioxide (CO₂) emissions, having regard to the energy hierarchy.
- iv. An energy centre will be required to provide a district heating system for the flatted blocks within the new neighbourhood. It is proposed to locate this on the site of the existing boiler house serving the estate, which is sited on plot 14. There is adequate capacity within this building to serve the new development.
- v. Subject to a feasibility study, adequate space should be retained within the energy centre to enable an Energy Supply Company (ESCO) to install additional capacity in order to contribute to a Colindale-wide network, should one come forward.
- vi. Sustainable design and construction should be integral to the design of new buildings and proposals should meet the requirements of the relevant Mayor of London and LBB policy and supplementary guidance.

Delivery agencies

- vii. The production of this SPD has involved joint working between the London Borough of Barnet, Genesis Housing Association, Barnet Homes, GLA/TfL, NHS, St Augustines Church and the Diocese, and Colindale Community Trust/Grahame Park Strategy.
- viii. This joint working should lead to the development of the mixed use Community Hub on the site of St Andrews.

Engagement

- ix. The Council will work with the various agencies active in Grahame Park to ensure that there is community involvement and engagement with stakeholders and other interest groups as each development proposal is brought forward.

Monitoring

- x. The Council monitors the effectiveness of policies in the Councils Annual Monitoring Report. The success of the Graham Park SPD will be monitored as part of this process and where necessary will be updated or changed.

6.0 IMAGE CREDITS

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	<p>Policy and Resources Committee</p> <p>17 May 2016</p>
<p style="text-align: right;">Title</p>	<p>Corporate Grants Programme - Approval of Grants under Delegated Powers</p>
<p style="text-align: right;">Report of</p>	<p>Director of Resources</p>
<p style="text-align: right;">Wards</p>	<p>All</p>
<p style="text-align: right;">Status</p>	<p>Public</p>
<p style="text-align: right;">Urgent</p>	<p>No</p>
<p style="text-align: right;">Key</p>	<p>No</p>
<p style="text-align: right;">Enclosure</p>	<p>None</p>
<p style="text-align: right;">Officer Contact Details</p>	<p>Ken Argent, Grants Manager, Finance, Commissioning Group (ken.argent@barnet.gov.uk) (020 8359 2020)</p>

Summary
<p>This report notifies the approval of grants under the Director of Resources' delegated powers in consultation with the chairman of the Community Leadership Committee.</p>

Recommendations
<p>To note the decisions to award six grants of less than £5,000 under delegated powers from the corporate grants programme in 2015/16.</p>

1. WHY THIS REPORT IS NEEDED

- 1.1 Voluntary and community organisations may apply for a one-year start-up grant of up to £10,000 or a one-off grant of up to £5,000 from the corporate grants programme.
- 1.2 Annex B to Responsibilities for Functions in the Scheme of Delegated Authority to Officers authorises the Director of Resources to award grants of up to £5,000 to voluntary and community groups.
- 1.3 In accordance with annex A of Responsibilities for Functions, this committee is to be informed of any grants approved under delegated powers. The awards in question, approved in 2015/16 following consultation with the chairman of the Community Leadership Committee, were as follows:
 - **£1,500** to **East Barnet Community Festival** in support of the annual festival in 2015
 - **£1,100** to **East Finchley Arts** in support of the annual East Finchley Arts Festival in 2015
 - **£4,368** to **Value You** in support of the launch of a volunteer recognition scheme in Barnet
 - **£800** to **Friends of Childs Hill Park** to promote and grow ownership of the park amongst the local community
 - **£3,175** to **African Refugee Community** towards the purchase of IT equipment to help expand and develop the rehabilitation and integration of French-speaking asylum seekers and refugees from Africa
 - **£2,500** to **1374 (East Barnet) Squadron, Air Training Corps** towards the purchase of a second-hand minibus.

An application by Barnet Borough Arts Council to help stage an annual one-day 'Christmas 'Fayre' was rejected on financial grounds.

2. REASONS FOR RECOMMENDATIONS

- 2.1 Each of the approved awards supported a project or an event which contributed to delivery of one or more of the council's corporate plan objectives and outcomes or Barnet's Sustainable Community Strategy.

3. ALTERNATIVE OPTIONS CONSIDERED AND NOT RECOMMENDED

- 3.1 None.

4. POST DECISION IMPLEMENTATION

- 4.1 The grant recipients were notified of the awards, which, in three of the cases, involved compliance with special conditions before the grant was released.

5. IMPLICATIONS OF DECISION

- 5.1 **Corporate Priorities and Performance**

5.1.1 The council is seeking to develop new and effective partnerships to deliver high quality public services pursuant to the significant reduction in government funding. The voluntary and community sector has a significant role to play in this strategy, especially by increasing choice, accessibility and value for money, embracing innovative solutions and improving customers' perception of public services.

5.1.2 A Third Sector Commissioning Framework, approved by the former Cabinet Resources Committee, has brought about greater consistency to the council's financial arrangements, embodying procurement from, and grants to, the sector into a single framework consistent with the council's procurement rules.

5.1.3 The corporate grants programme offers help to voluntary and community organisations (a) to develop sustainable new services and activities and (b) to run community events or meet certain non-recurring items of expenditure.

5.2 **Resources (Finance & Value for Money, Procurement, Staffing, IT, Property, Sustainability)**

5.2.1 The provision for making start-up and one-off grants in 2015/16 was comprised of funds deriving to the authority from the Edward Harvist Charity; a small annual allocation from the former Borough Lottery Scheme; and a sum of £51,000 collectively allocated to the corporate grants programme by the area committees with the approval of the Community Leadership Committee.

5.3 **Social Value**

5.3.1 Not relevant in the context of this report.

5.4 **Legal and Constitutional References**

5.4.1 Under section 15 of the Constitution, Responsibility for Functions, annex A, the Policy and Resources Committee receives reports on the issuance of grants below £5,000 by officers under their delegated authority.

5.5 **Risk Management**

5.5.1 All grants are made subject to the council's Standard Conditions of Grant Aid, with which applicants are required to signify their compliance by signing a written undertaking. Amongst other things, the conditions cover how awards are spent, allowing council officers a right of access to proof thereof, and requiring notification of any change in an organisation's circumstances which significantly affect its finances, operations or grant entitlement. The council reserves the right to withhold payment of any approved grant, or to demand full or partial repayment, if it appears that an organisation has failed to comply with any of the conditions attached to the award.

5.5.2 The shift towards greater community involvement in the delivery of services has involved some relaxation in the attitude traditionally taken to compliance with eligibility criteria before an award is recommended. Whilst all applicants

are expected to satisfy basic governance requirements, it is accepted that community-led and self-help groups may initially require the support of a parent organisation or other agency.

5.6 Equalities and Diversity

5.6.1 Under section 149 of the Equality Act 2010, the council and all other organisations exercising public functions must have due regard to the need to:

- eliminate unlawful discrimination, harassment and victimisation and other conduct prohibited by or under the Act;
- advance equality of opportunity between persons who share a relevant protected characteristic and persons who do not share it;
- foster good relations between persons who share a relevant protected characteristic and persons who do not share it

The relevant protected characteristics are age; disability; gender reassignment; pregnancy and maternity; race, religion or belief; and sex and sexual orientation. The broad purpose of this duty is to integrate considerations of equality into daily business and keep them under review in decision making; the design of policies; and the delivery of services.

5.6.2 All voluntary and community organisations grant-aided by the council are required to demonstrate that they have an equal opportunities policy covering users, staff and volunteers, which promotes equal treatment for all irrespective of their age, disability, gender, sexuality, ethnic background, faith, health, language or social and economic background. Scrutiny of compliance with these considerations and how they contribute to promoting good relations between people and communities forms part of the standard procedure for assessing all applications.

5.6.3 Awards from the corporate grants programme fund projects and activities in support of people from all communities and focus on those who may be regarded as vulnerable.

5.7 Consultation and Engagement

5.7.1 Each of the applications in question was assessed in conjunction with the commissioning and / or delivery units, as appropriate.

5.8 Insight

5.8.1 Each applicant presented evidence in support of the need for, or benefit of, their proposal.

6. BACKGROUND PAPERS

6.1 Reports to the Director of Resources under delegated powers:

<http://barnet.moderngov.co.uk/ieDecisionDetails.aspx?ID=5842>

<http://barnet.moderngov.co.uk/ieDecisionDetails.aspx?ID=5932>

<http://barnet.moderngov.co.uk/ieDecisionDetails.aspx?ID=5963>

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